# PLANNED RESIDENTIAL UNITS TOTAL UNITS 1 BR 2 BR 3 BR DUPLEX 30 0 18 12 TOWNHOMES 130 32 70 28 MULTI-FAMILY 120 60 50 10 SENIOR 120 78 42 0 TOTALS 400 170 180 50

SITE DATA TABLE							
LOTS ROW AND OUTLOTS							
CATEGORY	SQ. FT.	ACRES	% OF LOT				
DUPLEX HOUSING	69,953	1.61	6.7%				
TOWN HOMES	140,809	3.23	13.4%				
MULTI-FAMILY	69,713	1.60	6.6%				
COMMUNITY	22,396	0.51	2.1%				
SENIOR	174,593	4.01	16.6%				
OUTLOTS	362,549	8.32	34.5%				
ROW	209,592	4.81	20.1%				
TOTAL	1,049,605	24.10	100%				

LAND	USE T	ABLE	
LAND USE	SQ. FT.	ACRES	% OF LOT
PAVED STREETS & PARKING	145,217	3.33	13.84%
CONCRETE DRIVES & WALKS	188,642	4.33	17.97%
MULTI FAMILY LOTS	208,403	4.78	19.86%
MULTI-FAMILY/SENIOR BLDGS	104,469	2.40	9.95%
GREEN SPACE	402,874	9.25	38.38%
TOTAL	1,049,605	24.10	100%

DEVELOPMENT STANDARDS	REQUIRED	PROPOSED
FRONT YARD SETBACK AT COLLECTOR	35'	14'
FRONT YARD SETBACK AT LOCAL	30'	14'
DUPLEX FRONT SETBACK	10'	10'
TOWNHOME FRONT SETBACK	5'	5'
DUPLEX SIDE YARD SETBACK	5'-15'	0'
REAR YARD SETBACK	30'	5'
TOWNHOME REAR SETBACK	5'	0'
DUPLEX REAR SETBACK	1'	1'
DUPLEX MINIMUM LOT SIZE	6,000	2,000
MAXIMUM LOT COVERAGE (NET)	30%	90% (TOWNHOMES)
MAXIMUM LOT COVERAGE (GROSS)	30%	30%
MAXIMUM BUILDING HEIGHT	35'	35'
MAXIMUM BUILDING FLOORS	3	3
LOCAL STREET CROSS-SECTION	39' FL TO FL	38' FL TO FL
1 BR MULTI-FAMILY PARKING PER UNIT	1.5	1.2
1 BR SENIOR PARKING PER UNIT	1.5	1.0
2 BR SENIOR PARKING PER UNIT	2.0	1.7









Kimiey»Horn



OWNER:
BOULDER COUNTY HOUSING AUTHORITY
3460 Broadway, Boulder, CO 80306
Phone: 303 441-1506
www.BoulderCountyHHS.org
Contact: Norrie Boyd
Housing Division Director

ARCHITECT- PLANNER-LANDSCAPE:
NORRIS DESIGN
1101 Bannock Street, Denver, CO 80204
Phone: (303) 892-1166

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CIVIL-SURVEY:

DREXEL, BARRELL & CO.

1800 38th Street, Boulder, CO 80301

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Contact Civil: Cameron Knapp,P.E.

Contact Survey: Mathew Selders, P.L.S.

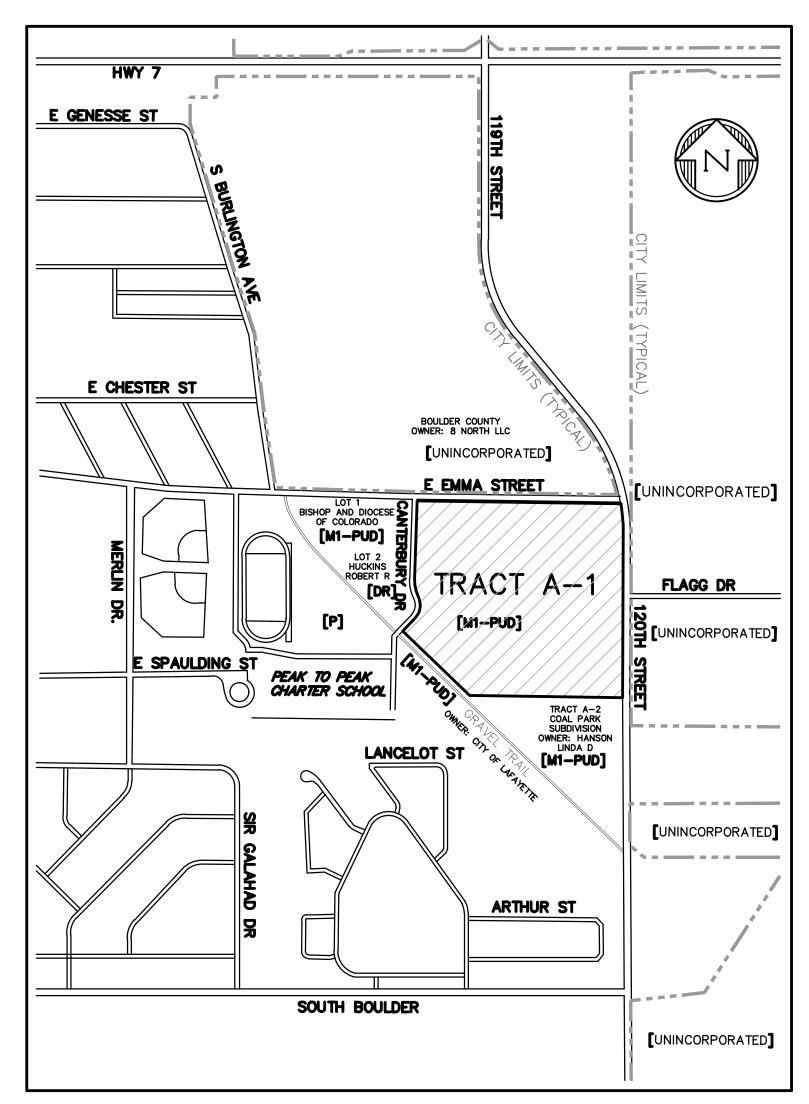
TRAFFIC ENGINEER:
KIMLEY HORN
4582 S. Ulster Street, Suite 1500, Denver, CO 80237
Phone: (303) 228-2330
Contact: Troy Russ, AICP

COMMUNITY OUTREACH & LIASON:
THE PACHNER COMPANY
4582 S. Ulster Street, 130 Rampart Way, Suite 225,
Denver, CO 80230
Phone: (303) 825-1671
Contact: Marcus Pachner, Partner

## PRELIMINARY PLAN WILLOUGHBY CORNER

TRACT A-1, COAL PARK SUBDIVISION, (LOCATED IN THE SE 1/4 OF SECTION 2, T1S, R69W OF THE 6TH P.M. CITY OF LAFAYETTE, COUNTY OF BOULDER, STATE OF COLORADO)

MARCH 2020



VICINITY MAP
SCALE: 1"=500'

#### VISIT-ABLE UNITS:

VISIT-ABLE REQUIREMENTS ARE 25% OF TOTAL UNITS; THEREFORE REQUIRED IS 25% x 400 UNITS = 100.

WALK PER AN EXISTING AGREEMENT WITH THE CITY.

NOTE:
THE EMMA STREET SIDEWALK CONNECTION ALONG THE SOUTH
SIDE OF THE ROAD SHALL EXTEND ALL THE WAY TO THE
EXISTING SIDEWALK TO THE WEST. PEAK TO PEAK CHARTER
SCHOOL SHALL BE RESPONSIBLE FOR A PORTION OF THE

#### **GENERAL NOTES:**

- 1. ALL OR PORTIONS OF THE PROPERTY DESCRIBED HERON MAY BE SUBJECT TO THE DEVELOPMENT AGREEMENT AND/OR DECLARATION OF COVENANTS, CONDITIONS, AND RESTRICTIONS RECORDED CONTEMPORARANEOUSLY WITH THIS PLAN IN THE OFFICE OF THE CLERK AND RECORDER OF BOULDER COUNTY, COLORADO.
- 2. ALL PUBLIC CONSTRUCTION SHALL BE COMPLETED IN ONE PHASE.
- 3. APPROVED LANDSCAPE, IRRIGATION, AND PHOTOMETRIC PLANS ARE ON FILE WITH THE CITY OF LAFAYETTE.

#### LEGAL DESCRIPTION:

TRACT A-1, COAL PARK SUBDIVISION, COUNTY OF BOULDER, STATE OF COLORADO

#### PARCEL B:

AN EASEMENT FOR ACCESS AND UTILITIES AS SET FORTH AND DESCRIBED IN EASEMENT DEED RECORDED AUGUST 14, 2001 AT RECEPTION NO. 2185252 AND AS FURTHER DESCRIBED IN ASSIGNMENT AND AMENDMENT OF UTILITIES AND ROADWAY EASEMENT AGREEMENT RECORDED FEBRUARY 19, 2002 AT RECEPTION NO. 2255538.

SUP	PLEMENTAL SHEETS
Sheet Number	Sheet Title
L001	LANDSCAPE NOTES
L002	PLANT SCHEDULE & LANDSCAPE DETAILS
L100	HYDROZONE & WATER USE
L101	LANDSCAPE PLAN
L102	LANDSCAPE PLAN
L103	LANDSCAPE PLAN
L104	LANDSCAPE PLAN
L105	LANDSCAPE PLAN
L106	LANDSCAPE PLAN
L107	LANDSCAPE PLAN
L108	LANDSCAPE PLAN
L109	LANDSCAPE PLAN
L401	LANDSCAPE ENLARGEMENT
L402	LANDSCAPE ENLARGEMENT
L403	LANDSCAPE ENLARGEMENT
L500	SITE DETAILS
L600	DEVELOPMENT STANDARDS
	& LOT TYPICALS

1	COVER SHEET
2	GENERAL NOTES
3	TYPICAL STREET SECTIONS
4	EX. CONDITIONS & DEMO PLAN
5	SITE PLAN
6	OVERALL UTILITY PLAN
7	OVERALL GRADING PLAN
8	EMMA ST. ROUNDABOUT
9	CANTERBURY ROUNDABOUT
10	EMMA ST. PLAN & PROFILE
11	120TH ST. PLAN & PROFILE
12	120TH ST. PLAN & PROFILE
13	EMMA ST. CROSS SECTIONS
14	120TH ST. CROSS SECTIONS
15	PHASING PLAN
16	WATER 1A PROFILE WATER 1B PROFILE
17	WATER 18 PROFILE  WATER 2A PROFILE
18	WATER 2B PROFILE
19	WATER 26 PROFILE  WATER 3A PROFILE
20	WATER 3A PROFILE  WATER 3B PROFILE
22	WATER 3B PROFILE  WATER 4 PROFILE
23	WATER 4 PROFILE  WATER 5 PROFILE
23	WATER 3 PROFILE  WATER 7 PROFILE
25	WATER 8A PROFILE
26	WATER 8B & 10 PROFILE
27	WATER 9 PROFILE
28	WATER 11A PROFILE
29	WATER 11B PROFILE
30	WATER 11C PROFILE
31	WATER FH2 & FH4 PROFILE
32	SANITARY SEWER PROFILE 1-3
33	SANITARY SEWER PROFILE 2-4
34	SANITARY SEWER PROFILE 4-7
35	SANITARY SEWER PROFILE 7-8
36	SANITARY SEWER PROFILE 6-9
37	SANITARY SEWER PROFILE 5-10
38	SANITARY SEWER PROFILE 4-11
39	SANITARY SEWER PROFILE 3-12
40	SANITARY SEWER PROFILE 12-13-14
41	SANITARY SEWER PROFILE 14-15 & 18-19
42	SANITARY SEWER PROFILE 17-16-15-18
43	STORM 1 & 11 PROFILE
44	STORM 2A PROFILE
45	STORM 2B PROFILE
46	STORM 3A PROFILE
47	STORM 3B PROFILE
48	STORM 7 PROFILE
49	STORM 7 PROFILE
50	STORM 80 & 8B PROFILE
51	STORM 8A & 9 PROFILE  STORM 4 & 10 & 12 PROFILE
52	STORM 4 & 10 & 12 PROFILE  STORM 13 PROFILE
53 54	STORM 13 PROFILE  STORM 14 PROFILE
55	ALLEY #1 PLAN & PROFILE
56	ALLEY #2 PLAN & PROFILE
57	ALLEY #2 PLAN & PROFILE
58	ALLEY #3 PLAN & PROFILE
59	ALLEY #3 PLAN & PROFILE
60	ALLEY #4 PLAN & PROFILE
61	ALLEY #5 PLAN & PROFILE
62	ALLEY #6 PLAN & PROFILE
63	ALLEY #7 PLAN & PROFILE
64	ALLEY #8 PLAN & PROFILE
65	ALLEY #8 PLAN & PROFILE
66	ALLEY #9 PLAN & PROFILE
67	CANTERBURY PLAN & PROFILE
68	CANTERBURY PLAN & PROFILE
69	CANTERBURY PLAN & PROFILE
70	CANTERBURY PLAN & PROFILE
71	WILLOUGHBY PLAN & PROFILE
72	WILLOUGHBY PLAN & PROFILE

SHEET INDEX TABLE

Sheet Title

Sheet Number

APPROVED:

CITY ENGINEER

REVIEW IS FOR GENERAL CONFORMANCE WITH THE CITY OF LAFAYETTE "STANDARDS AND SPECIFICATIONS," LATEST EDITION. SOLE RESPONSIBILITY FOR COMPLETENESS AND/OR ACCURACY OF THESE DOCUMENTS SHALL REMAIN WITH THE REGISTERED PROFESSIONAL ENGINEER SEALING THESE PLANS. THE CITY DOES NOT ACCEPT LIABILITY FOR FACILITIES DESIGNED BY OTHERS.

DATE

COVER SHEET

**BOULDER COUNTY** 

HOUSING AUTHORITY

2525 13th ST, SUITE 204 BOULDER, CO 80302 303-441-1000

DREXEL, BARRELL & CO.
Engineers • Surveyors
1800 38th STREET
BOULDER, COLORADO 80301
CONTACT: CAMERON KNAPP, P.E.
(303) 442-4338

NOT FOR CONSTRUCTION

DATE:

1

SHEET TITLE:

7)))

Denver, Colorado 80204

P 303.892.1166

NORRIS DESIGN
Planning | Landecape Architecture | Branding

### NORRIS DESIGN Planning | Landacape Architecture | Brandin

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# UGHBY CORNER

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BOULDER COUNTY HOUSING AUTHORITY 2525 13th ST, SUITE 204 BOULDER, CO 80302 303-441-1000



DREXEL, BARRELL & CO Engineers • Surveyors 1800 38th STREET BOULDER, COLORADO 80301 CONTACT: CAMERON KNAPP, P.E (303) 442-4338

NOTES

#### **GENERAL NOTES**

- 1. ALL CONSTRUCTION IN THE PUBLIC RIGHT-OF-WAY, OR PUBLIC EASEMENTS SHALL CONFORM TO THE CITY OF LAFAYETTE STANDARDS AND SPECIFICATIONS.
- 2. SIGNS AND MARKINGS INSTALLED IN THE RIGHT-OF-WAY TO COMPLY WITH THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES, LATEST REVISION EDITION.
- 3. THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES, WHETHER SHOWN ON THESE PLANS OR NOT, BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UTILITIES.
- 4. ALL DAMAGED EXISTING CURB, GUTTER, AND SIDEWALK MUST BE BROUGHT TO CURRENT CITY STANDARDS PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY.
- 5. PRIOR TO ANY CONSTRUCTION WITHIN THE PUBLIC RIGHT-OF-WAY, THE CONTRACTOR SHALL ACQUIRE ANY NECESSARY PERMITS FROM THE DEPARTMENT OF PUBLIC WORKS AS REQUIRED BY ORDINANCE.
- 6. CONTRACTOR SHALL CONTACT ALL APPROPRIATE UTILITY COMPANIES AND THE CITY OF LAFAYETTE TO OBTAIN ALL NECESSARY LOCATES 48 HOURS BEFORE CONSTRUCTION BEGINS
- 7. NO VARIANCE FROM THE SPECIFICATIONS AND NOTES HEREIN SHALL BE ACCEPTED WITHOUT PRIOR WRITTEN APPROVAL BY THE CITY OF LAFAYETTE.
- 8. ALL PHASES OF THE WORK SHALL BE INSPECTED AND APPROVED BY THE CITY OF LAFAYETTE.

#### **DEMOLITION NOTES**

- 1. THE CONTRACTOR SHALL DOCUMENT THE CONDITION OF ALL EXISTING FEATURES TO REMAIN PRIOR TO THE BEGINNING OF WORK. ALL ITEMS DAMAGED OR DISTURBED SHALL BE REPAIRED OR REPLACED IN KIND TO THE SATISFACTION OF THE OWNER AT NO ADDITIONAL CONTRACT COST.
- 2. DRAINAGE STRUCTURES SHALL NOT BE REMOVED UNTIL SATISFACTORY ARRANGEMENTS HAVE BEEN MADE TO ACCOMMODATE TRAFFIC AND DRAINAGE.
- 3. WHERE PORTIONS OF IMPROVEMENTS ARE TO BE REMOVED, THE PORTIONS DESIGNATED TO REMAIN SHALL BE PROTECTED FROM DAMAGE. ALL DAMAGE TO STRUCTURES DESIGNATED TO REMAIN IN PLACE SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
- 4. EXISTING IMPROVEMENTS, SUCH AS PAVEMENT, SIDEWALKS, CURBS, THE CONTRACTOR SHALL SAW CUT AT LIMITS OF REMOVAL TO A TRUE LINE, WITH A VERTICAL FACE AND TO A MINIMUM DEPTH OF 2-INCHES OR TO THE DEPTH OF THE REINFORCING STEEL, WHICHEVER OCCURS FIRST. IF THE EDGE IS DAMAGED DURING CONSTRUCTION, IT SHALL BE RE-CUT PRIOR TO CONSTRUCTING THE NEW IMPROVEMENTS.
- 5. SAW CUTS MAY DEVIATE SLIGHTLY FROM THE DESIGN IF A CONTROL JOINT IS WITHIN A REASONABLE DISTANCE FROM THE SAW CUT AS SHOWN ON THIS PLAN. COSTS ASSOCIATED WITH THE REMOVAL AND REPLACEMENT OF ANY ADDITIONAL CURB, GUTTER, OR SIDEWALK THAT IS REQUIRED DUE TO DEVIATIONS IN THE SAW CUT LOCATION WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- 5. COORDINATE ANY SHUTDOWN OF EXISTING UTILITIES WITH UTILITY OWNERS PRIOR TO PROCEEDING WITH THE WORK.
- 6. CONTRACTOR SHALL INSTALL EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO SITE CLEARING OR DEMOLITION ACTIVITIES.
- 7. ABANDONMENT PROCEDURES SHALL CONFORM TO SECTION 1000, CITY OF LAFAYETTE STANDARDS & SPECIFICATIONS, LATEST VERSION.

#### ADJACENT PROPERTY - COORDINATION AND RESTORATION

- 1. THE PROPOSED CONSTRUCTION INCLUDES WORK OFF SITE AND IN PROPRIETIES OWNED BY PRIVATE PROPERTY OWNERS (WITHIN EASEMENTS) AND THE CITY. THE WORK IS WITHIN EASEMENTS DEDICATED FOR THE PROPOSED USE.
- 2. IF WORKING IN LANDS OWNED BY THE CITY, THE CONTRACTOR SHALL WORK UNDER THE REQUIREMENTS OF THE PERMIT FROM THE CITY.
- 3. IF WORKING IN LANDS OWNED BY PRIVATE PROPERTY OWNERS, THE CONTRACTOR SHALL NOTIFY SAID OWNER OF UPCOMING WORK AND ALLOW SAID OWNER A MINIMUM OF TWO WEEKS TO REMOVE ANY ITEMS WITHIN THE EASEMENT WHICH MAY IMPEDE CONSTRUCTION. THE CONTRACTOR SHALL PROVIDED ANY AND ALL MEANS NECESSARY TO MAINTAIN ANY FENCES OR ENCLOSURES FOR PROTECTION AND SECURITY OF THE PRIVATE HOMEOWNER. THE CONTRACTOR SHALL RESTORE THE AREA TO MATCH EXISTING CONDITIONS, OR BETTER, AND SHALL OBTAIN WRITTEN APPROVAL SIGN OFF FROM THE OWNER UPON COMPLETION.
- 4. THE CONTRACTOR SHALL PREPARE A TRAFFIC CONTROL PLAN FOR ANY ROAD CLOSURES.

#### **UTILITY NOTES**

- 1. ALL WATER AND SANITARY SEWER MATERIALS AND CONSTRUCTION SHALL CONFORM TO CITY OF LAFAYETTE STANDARDS AND SPECIFICATIONS, LATEST EDITION THEREOF.
- 2. WATER SERVICE LINE TAPS SHALL BE WET TAPS INSTALLED BY A CONTRACTOR OR PLUMBER LICENSED BY THE CITY WHO SPECIALIZES IN THE INSTALLATION OF WATER TAPS.
- 3. CONTRACTOR SHALL PROTECT ALL ADJACENT IMPROVEMENTS (BUILDINGS, PARKING LOTS, LANDSCAPE AREAS, ETC...) FROM DAMAGE AND EROSION. ALL DISTURBED AREAS OFF—SITE SHALL BE RESTORED TO A MINIMUM OF THEIR ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE.
- 4. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS TO COMPLETE THE PROPOSED WORK AND SHALL COMPLY WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS.
- 5. PAVING CONTRACTOR SHALL ADJUST ALL VALVE BOXES AND MANHOLE COVERS TO FINAL GRADE.
- 6. ALL EXISTING UTILITY LINE LOCATIONS SHALL BE VERIFIED BY THE CONTRACTOR AND THE ENGINEER NOTIFIED PRIOR TO CONSTRUCTION. IT IS THE PLANS' INTENT TO SHOW ALL EXISTING UTILITIES, HOWEVER IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT ALL EXISTING UTILITIES, WHETHER SHOWN ON THESE PLANS OR NOT, HAVE BEEN PROPERLY LOCATED.
- 7. PROVIDE CONCRETE THRUST BLOCKING AT ALL BENDS, TEES, PLUGS AND HYDRANTS.
- 8. WATER, STORM SEWER AND SANITARY SEWER PIPE SHALL BE BEDDED IN ACCORDANCE WITH CITY OF LAFAYETTE STANDARDS AND SPECIFICATIONS, LATEST EDITION THEREOF.
- 9. ALL WATER LINES SHALL HAVE A MINIMUM FOUR AND A HALF (4-1/2) FEET OF COVER BELOW
- 10. CONTRACTOR SHALL COORDINATE DRY UTILITY LOCATIONS WITH ARCHITECT AND PROVIDER AGENCY.

  11. ALL STATIONING AND OFFSETS ARE FROM ROAD CENTERLINE ALIGNMENT TO THE CENTERLINES OF
- 12. SANITARY SEWER LINES SHALL BE POLYVINYL CHLORIDE (PVC) PIPE, SDR 35, IN ACCORDANCE WITH OR MEETING ASTM D3034.
- 13. SANITARY SEWER MAINS IN "ALLEY" MAY HAVE LESS THAN 9 FEET OF ELEVATION DIFFERENCE BETWEEN FINISHED LOT GRADE AT BUILDING LINE AND THE TOP OF THE SANITARY MAIN. SERVICE LINES SHALL BE INSTALLED WITH A MINIMUM OF 4 FEET OF COVER AND NO LESS THAN 2.0% SLOPE.
- 14. WATER LINES SHALL BE A.W.W.A. C-900 CLASS 200 PVC PRESSURE PIPE. ALL WATER SERVICES WITH PIPE DIAMETERS THROUGH 2 INCHES SHALL BE TYPE K COPPER IN ACCORDANCE WITH ASTM B88. ALL WATER SERVICE LINES LARGER THAN 2-INCH ARE TO BE C-900. SEE CITY DETAIL 200-4 FOR LOCATOR TAPE AND TRACER WIRE STANDARDS.
- 15. WATERLINE FITTINGS SHALL BE DUCTILE-IRON OR CAST-IRON CONFORMING TO THE REQUIREMENTS SET FORTH IN ANSI A21.10, A.W.W.A. C110. CAST-IRON FITTINGS 12-INCH SIZE AND SMALLER SHALL BE CLASS 250. ALL DUCTILE IRON PIPE FITTINGS AND APPURTENANCES WILL BE PROTECTED WITH A 10-MIL THICK POLYETHYLENE FILM WRAP.
- 16. MANHOLES SHALL BE STANDARD PRECAST CONCRETE. SEE CITY STANDARD DETAILS.
- 17. STANDARD FIRE HYDRANT ASSEMBLY SHALL INCLUDE THE SWIVEL TEE, VALVE, 6" PIPE TO THE HYDRANT AND THE HYDRANT.
- 18. STORM SEWER PIPE IN THE ROW SHALL BE REINFORCED CONCRETE PIPE (RCP) IN ACCORDANCE WITH ASTM C-76. PIPE SHALL BE CLASS III.
- 19. ALL STORM SEWER PIPE JOINTS SHALL BE INTEGRAL BELL AND SPIGOT WITH RUBBER O-RING TYPE GASKETS PER ASTM C-361.
- 20. ALL STORM SEWER PIPE FLARED END SECTIONS SHALL BE INSTALLED WITH PREFABRICATED TRASH RACKS APPROPRIATE FOR THE PIPE SIZE AND AS SPECIFIED OR SUPPLIED BY THE MANUFACTURER.
- 21. PIPING FOR UNDERDRAIN SYSTEM AND ROOF DRAINS SHALL BE PVC PIPE, SDR 35, OR APPROVED EQUIVALENT AND SHALL BE A COLOR OF PVC OTHER THAN GREEN OR BLUE.
- 22. PROVIDE APPROPRIATE WARNING TAPE FOR EACH UTILITY.

MANHOLES, INLETS AND UTILITY LINES UNLESS NOTED OTHERWISE.

22. AS-BUILT DRAWINGS SHALL BE PROVIDED IN ACCORDANCE WITH SECTION 106.2.2 OF THE CITY OF LAFAYETTE STANDARDS AND SPECIFICATIONS. AS-BUILT INFORMATION MUST INCLUDE ELEVATIONS FOR WATER, SANITARY SEWER, STORM SEWER, AND UNDERDRAIN ELEVATIONS. AS-BUILTS SHALL BE PREPARED BY THE CONTRACTOR AND SUBMITTED TO THE CITY OF LAFAYETTE FOR APPROVAL.

#### **GRADING NOTES**

- 1. ALL SPOT ELEVATIONS ARE FLOWLINE OF CURB AND GUTTER, TOP OF PAVING, OR FINISHED GRADE UNLESS OTHERWISE NOTED.
- 2. ALL PROPOSED CONTOURS ARE TO TOP OF FINISHED PAVING AND LANDSCAPED AREAS UNLESS OTHERWISE NOTED.
- 3. MAXIMUM LANDSCAPE SLOPE SHALL BE 4(HOR) TO 1(VERT)
- MINIMUM SLOPE ON LANDSCAPED AREAS SHALL BE 2.00% MINIMUM SLOPE ON ASPHALT SURFACES SHALL BE 1.00%
- MINIMUM SLOPE ON CONCRETE SURFACES SHALL BE 0.50% UNLESS OTHERWISE NOTED.
- 4. REFER TO SOILS REPORT FURNISHED BY OWNER FOR ALL COMPACTION REQUIREMENTS.
- 5. ADD 5100 TO ALL (TRUNCATED) SPOT ELEVATIONS AND CONTOUR ELEVATIONS TO REACH PROJECT VERTICAL DATUM.
- 6. PAVING CONTRACTOR SHALL ADJUST ALL VALVE BOXES AND MANHOLE COVERS TO THE FINAL GRADES INDICATED ON PLANS.
- 7. EXISTING SPOT ELEVATIONS AND TOPOGRAPHIC INFORMATION COMES FROM AN ALTA AND FIELD SURVEY CONDUCTED BY DREXEL, BARRELL & CO. COMPLETED IN JUNE 1,
- 8. CONCRETE WALKS SHALL HAVE A DESIGNED CROSS SLOPE NOT TO EXCEED 2% ONCE CONSTRUCTED PER ADA REQUIREMENTS.
- 9. CONTRACTOR SHALL NOTIFY THE SURVEY AND/OR ENGINEER PRIOR TO CONSTRUCTION OF ALL CURB RAMPS TO VERIFY THAT DESIGN ELEVATIONS AT THE TOP OF THE RAMPS WILL MEET ADA REQUIREMENTS BASED ON CONSTRUCTED FLOWLINE ELEVATIONS.
- 10. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO MAINTAIN AND PROVIDE FOR ADEQUATE DRAINAGE THROUGH THE SITE DURING THE PROCESS OF EXCAVATION, GRADING AND EMBANKMENT. THE GRADE SHALL BE MAINTAINED IN SUCH CONDITION THAT IT IS WELL DRAINED AT ALL TIMES.

#### EROSION CONTROL NOTES

LEAVES THE SITE OF THE EARTH DISTURBANCE.

1. ALL TEMPORARY EROSION CONTROL FACILITIES AND ALL PERMANENT FACILITIES INTENDED TO CONTROL EROSION OF ANY EARTH DISTURBANCE OPERATION SHALL BE INSTALLED BEFORE ANY EARTH DISTURBANCE OPERATIONS TAKE PLACE.

2. ANY EARTH DISTURBANCE SHALL BE CONDUCTED IN SUCH MANNER SO AS TO EFFECTIVELY REDUCE ACCELERATED SOIL EROSION AND RESULTING SEDIMENTATION AND SHOULD NOT EXCEED THE EROSION EXPECTED TO OCCUR FOR THE SITE IN ITS TOTALLY UNDEVELOPED STATE.

3. ALL PERSONS ENGAGED IN EARTH DISTURBANCES SHALL DESIGN, IMPLEMENT AND MAINTAIN ACCEPTABLE SOIL EROSION AND SEDIMENTATION CONTROL MEASURES, IN CONFORMANCE WITH THE EROSION CONTROL TECHNICAL STANDARDS ADOPTED BY THE CITY.

4. ALL EARTH DISTURBANCES SHALL BE DESIGNED, CONSTRUCTED AND COMPLETED IN SUCH A MANNER SO THAT THE EXPOSED AREA OF ANY DISTURBED LAND SHALL BE LIMITED TO THE SHORTEST POSSIBLE PERIOD OF TIME.

5. SEDIMENT CAUSED BY ACCELERATED SOIL EROSION SHALL BE REMOVED FROM RUNOFF WATER BEFORE IT

6. ANY TEMPORARY OR PERMANENT FACILITY DESIGNED AND CONSTRUCTED FOR THE CONVEYANCE OF WATER AROUND, THROUGH OR FROM THE EARTH DISTURBANCE AREA SHALL BE DESIGNED TO LIMIT THE WATER FLOW TO A NON-EROSIVE VELOCITY.

7. TEMPORARY SOIL EROSION CONTROL FACILITIES SHALL BE REMOVED AND EARTH DISTURBANCE AREAS GRADED AND STABILIZED WITH PERMANENT SOIL EROSION CONTROL MEASURES PURSUANT TO THE CITY STANDARDS AND SPECIFICATIONS AND IN ACCORDANCE WITH THE PERMANENT EROSION CONTROL FEATURES SHOWN ON THE

8. PERMANENT SOIL EROSION CONTROL MEASURES FOR ALL SLOPES, CHANNELS, DITCHES OR ANY DISTURBED LAND AREA SHALL BE COMPLETED WITHIN FOURTEEN (14) CALENDAR DAYS AFTER FINAL GRADING OR THE EARTH DISTURBANCE HAS BEEN COMPLETED. WHEN IT IS NOT POSSIBLE TO PERMANENTLY STABILIZE A DISTURBED AREA AFTER AN EARTH DISTURBANCE HAS BEEN COMPLETED OR WHERE SIGNIFICANT EARTH DISTURBANCE ACTIVITY CEASES, TEMPORARY SOIL EROSION CONTROL MEASURES SHALL BE IMPLEMENTED WITHIN FOURTEEN (14) CALENDAR DAYS. ALL TEMPORARY SOIL EROSION CONTROL MEASURES SHALL BE MAINTAINED UNTIL PERMANENT SOIL EROSION MEASURES ARE IMPLEMENTED.

APPROVED:

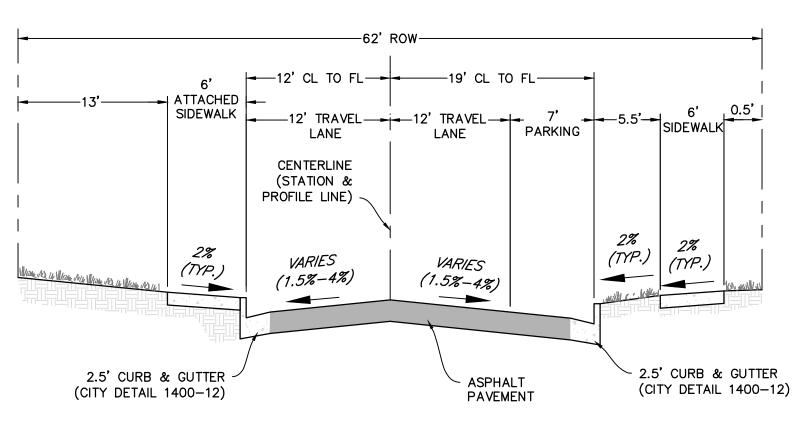
CITY ENGINEER

REVIEW IS FOR GENERAL CONFORMANCE WITH THE CITY OF

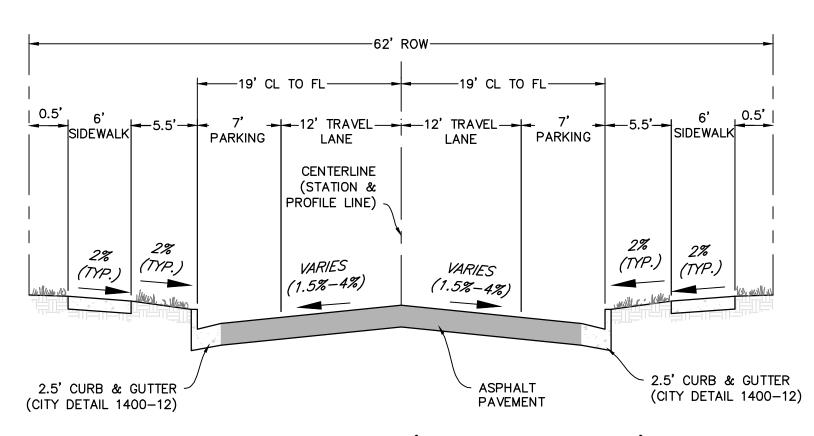
LAFAYETTE "STANDARDS AND SPECIFICATIONS," LATEST EDITION.

SOLE RESPONSIBILITY FOR COMPLETENESS AND/OR ACCURACY OF THESE DOCUMENTS SHALL REMAIN WITH THE REGISTERED PROFESSIONAL ENGINEER SEALING THESE PLANS. THE CITY DOES NOT ACCEPT LIABILITY FOR FACILITIES DESIGNED BY OTHERS.

## CANTERBURY DRIVE (NO PARKING) TYPICAL SECTION NOT TO SCALE

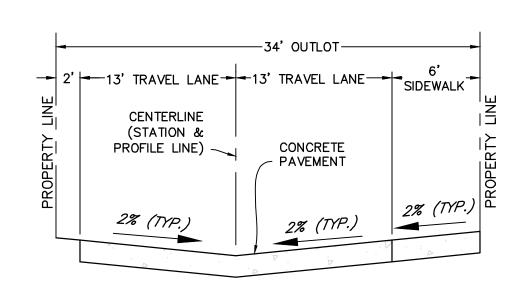


CANTERBURY DRIVE (1-SIDED PARKING) TYPICAL SECTION

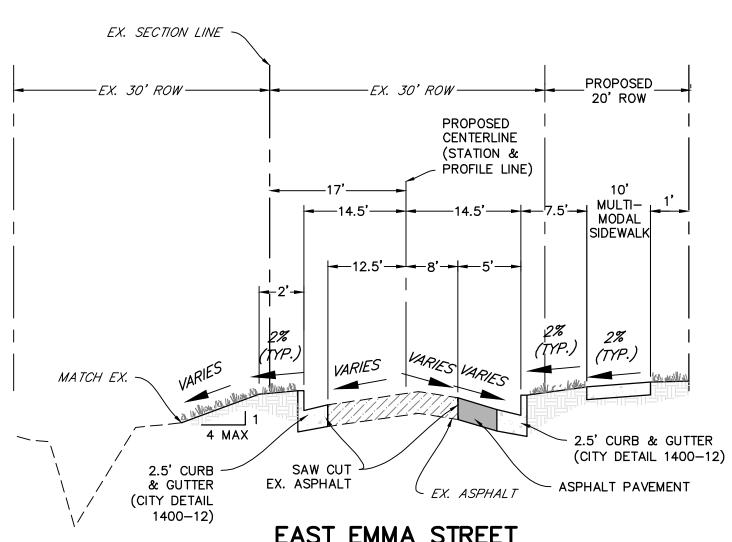


CANTERBURY DRIVE (2-SIDED PARKING) TYPICAL SECTION

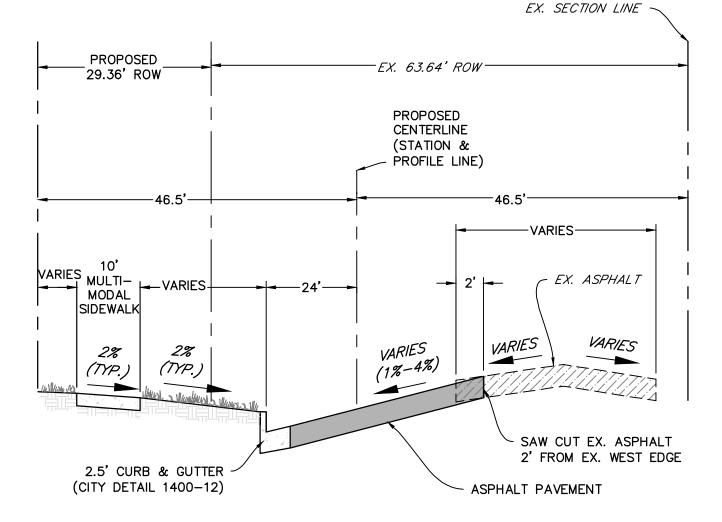
NOT TO SCALE



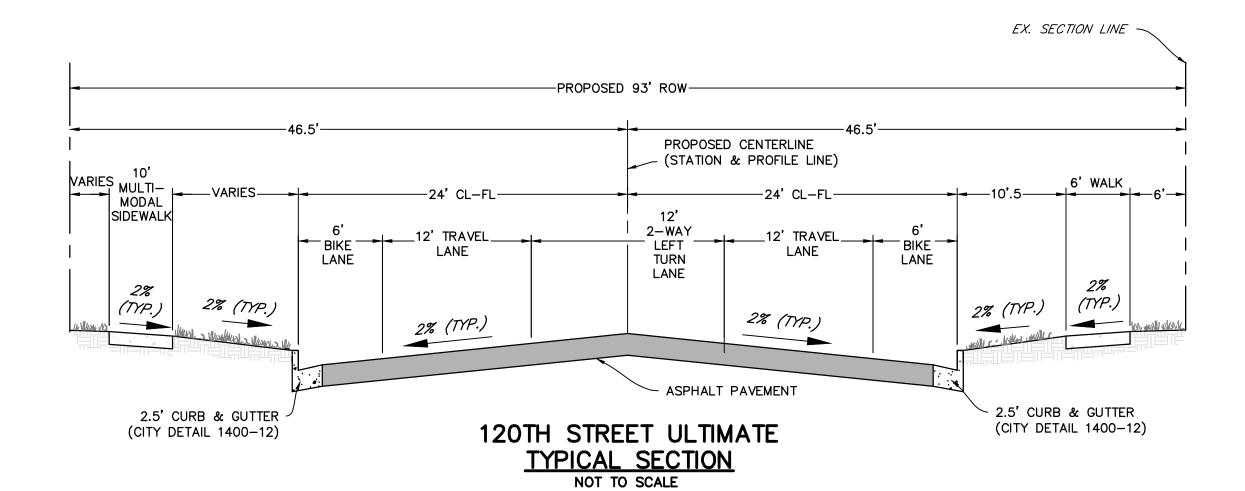
ALLEY 4 TYPICAL SECTION NOT TO SCALE

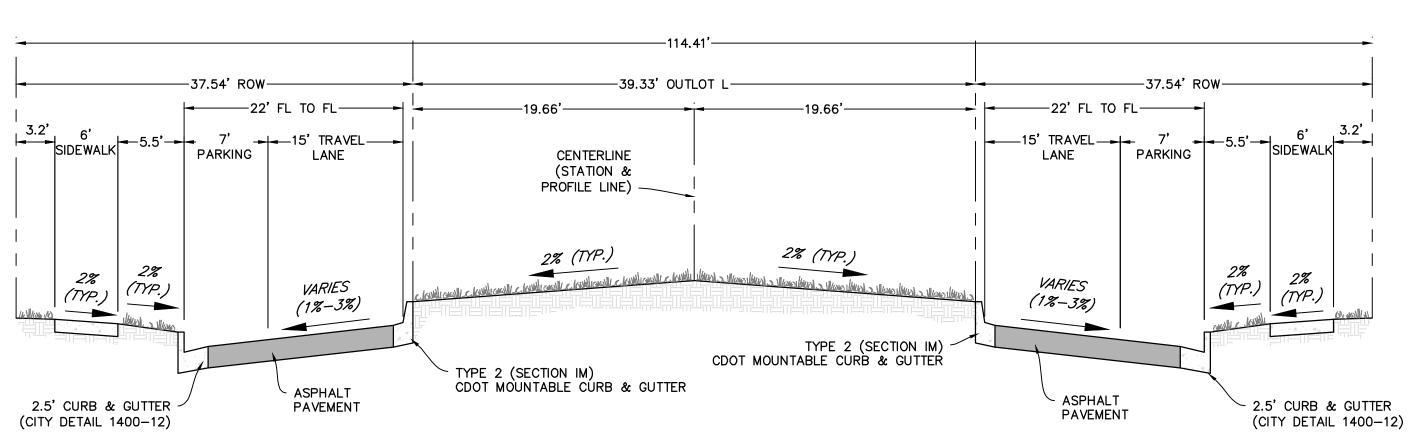


EAST EMMA STREET TYPICAL SECTION
NOT TO SCALE



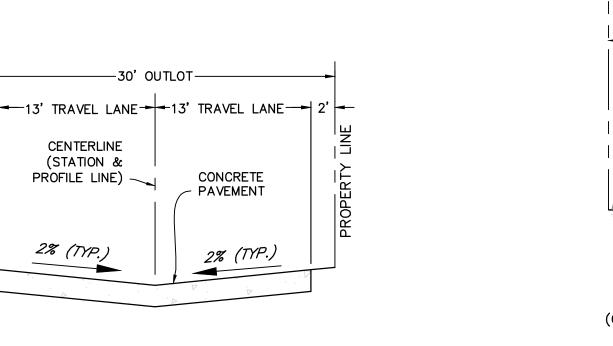
120TH STREET INTERIM TYPICAL SECTION
NOT TO SCALE



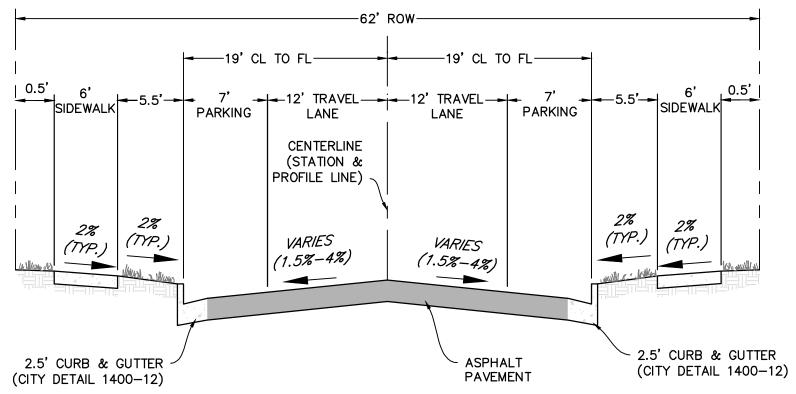


WILLOUGHBY AVENUE TYPICAL SECTION

NOT TO SCALE



ALLEY (1 & 3-9) TYPICAL SECTION NOT TO SCALE



WILLOUGHBY AVENUE (2-SIDED PARKING)

TYPICAL SECTION

NOT TO SCALE



CITY ENGINEER	DATE
LAFAYETTE "STANDARDS A SOLE RESPONSIBILITY FOR	CONFORMANCE WITH THE CITY OF AND SPECIFICATIONS," LATEST EDITION.  COMPLETENESS AND/OR ACCURACY OF
	REMAIN WITH THE REGISTERED

PROFESSIONAL ENGINEER SEALING THESE PLANS. THE CITY DOES

NOT ACCEPT LIABILITY FOR FACILITIES DESIGNED BY OTHERS.

APPROVED:

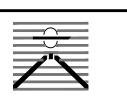
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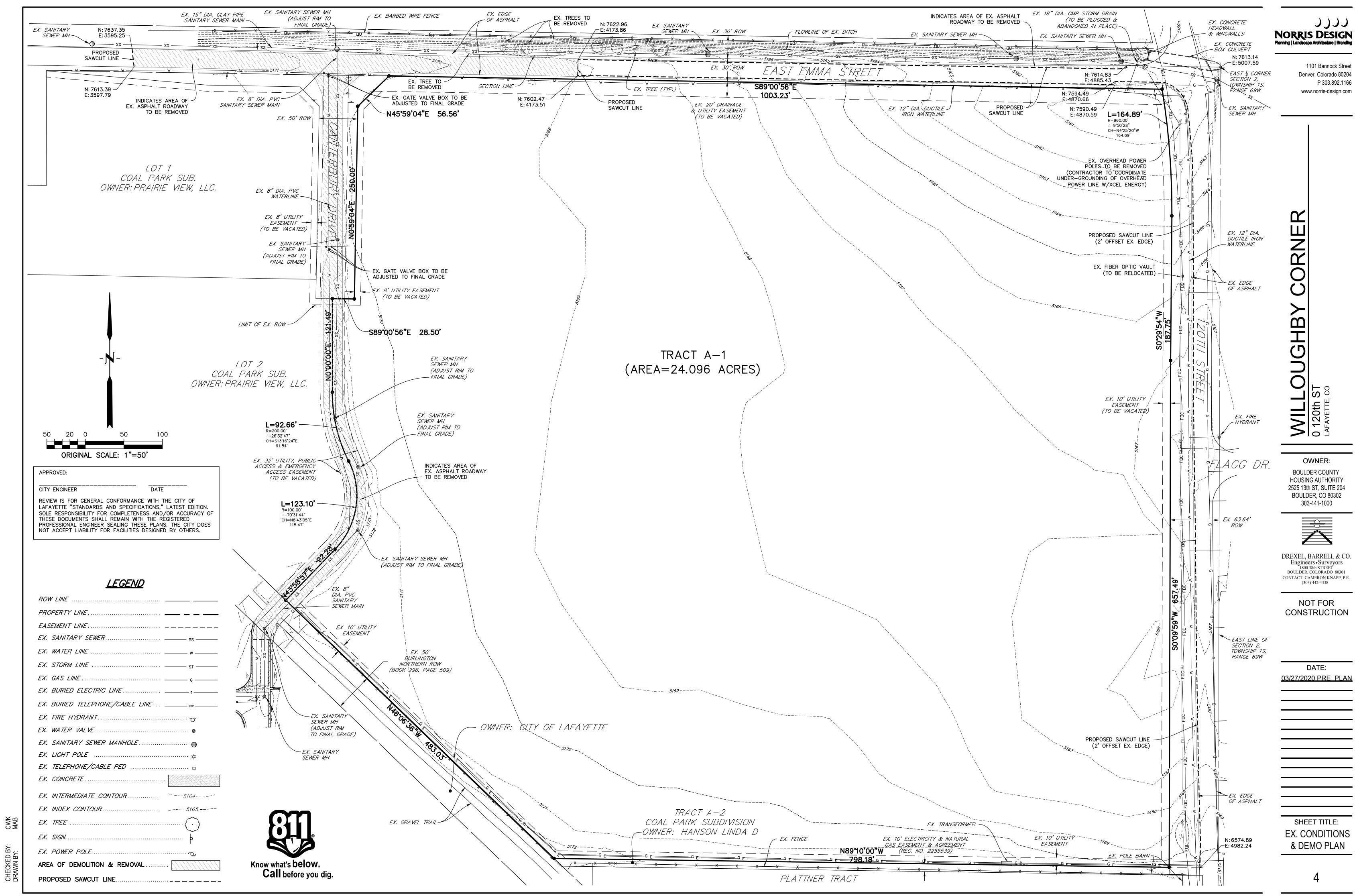


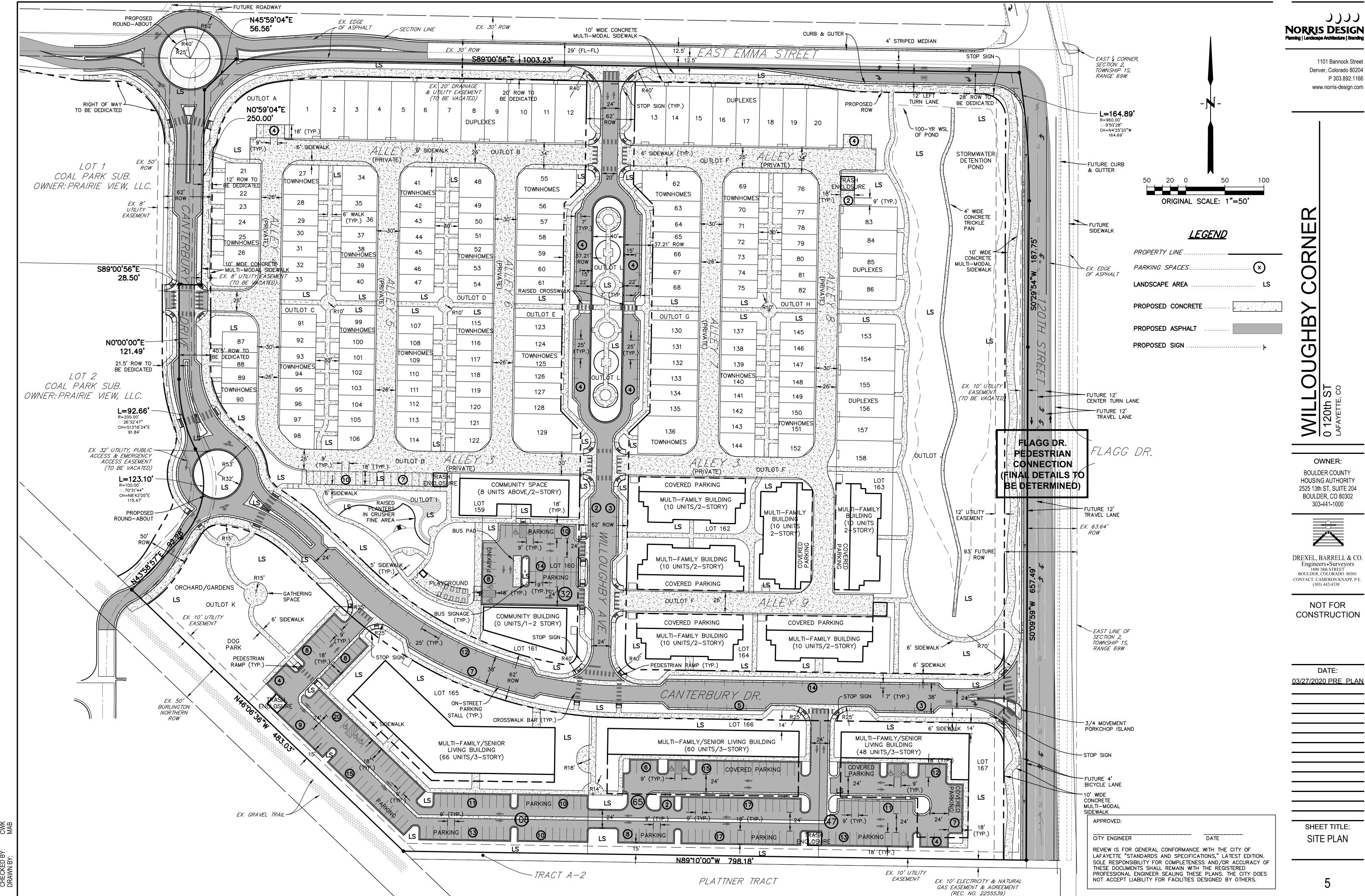
DREXEL, BARRELL & CO. Engineers • Surveyors
1800 38th STREET BOULDER, COLORADO 80301 CONTACT: CAMERON KNAPP, P.E (303) 442-4338

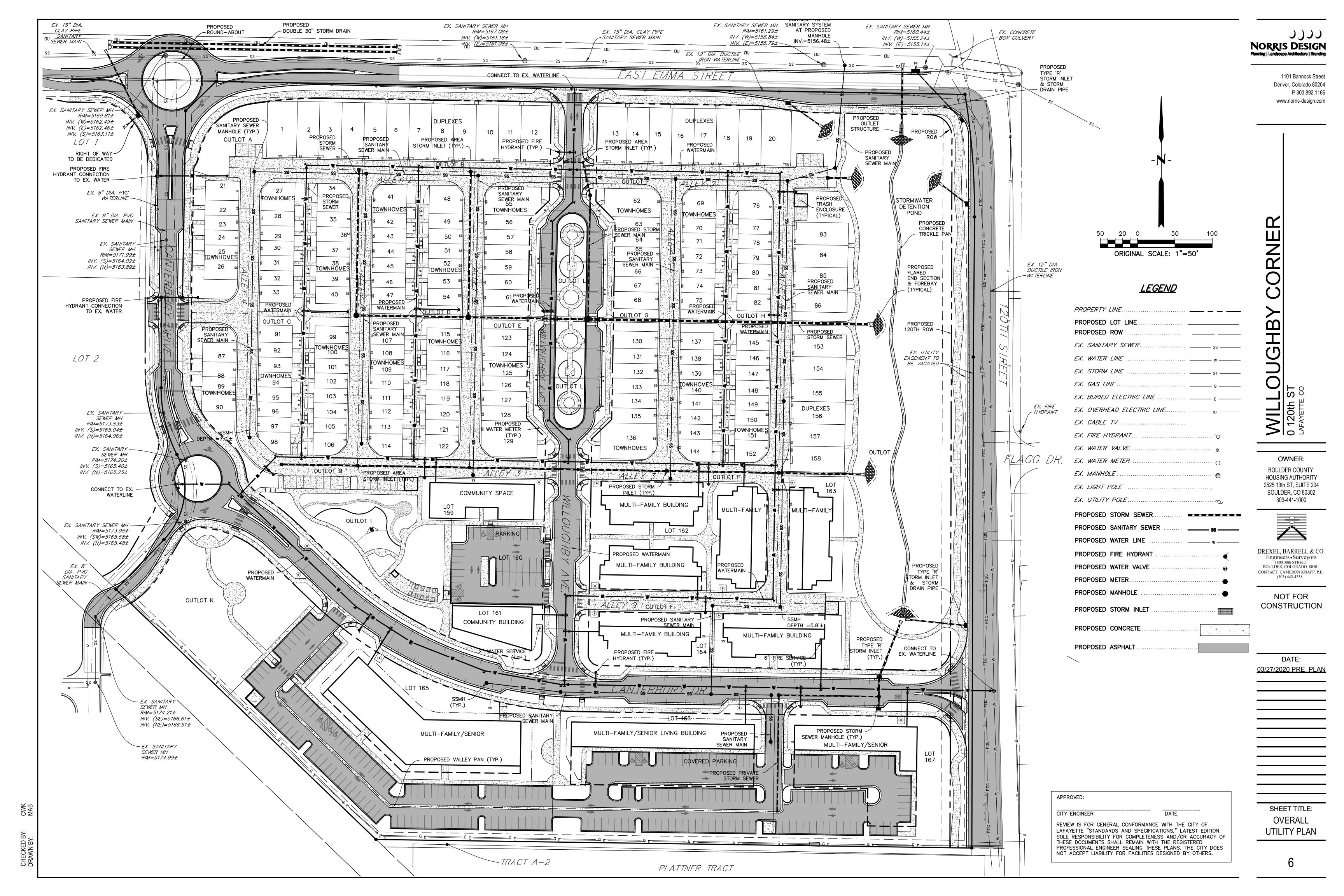
NOT FOR CONSTRUCTION

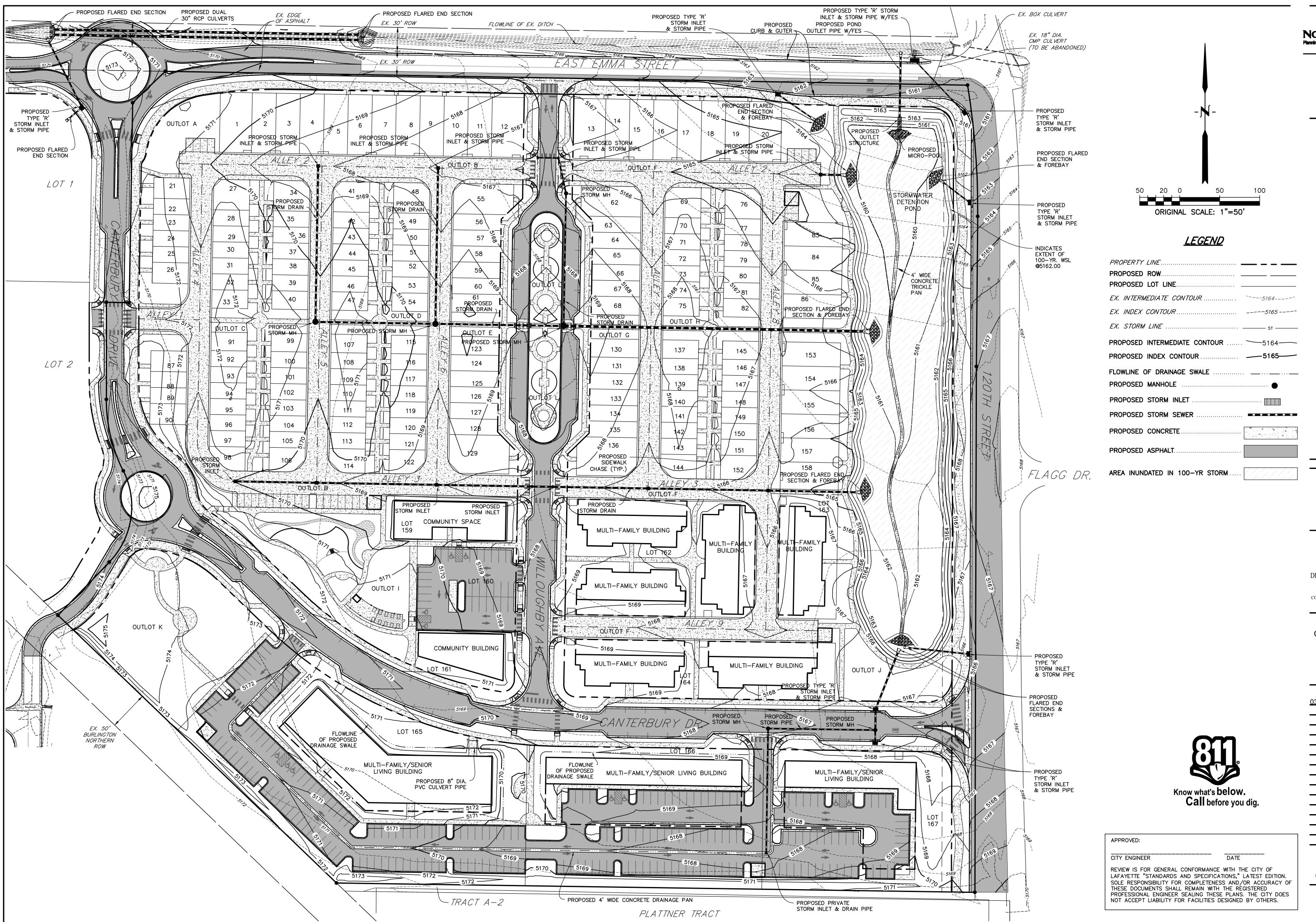
DATE:

SHEET TITLE: **TYPICAL** STREET SECTIONS









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| WILLOUGHBY CORNER

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303-441-1000

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1800 38th STREET
BOULDER, COLORADO 80301
CONTACT: CAMERON KNAPP, P.E.

(303) 442-4338

NOT FOR CONSTRUCTION

DATE: //2020 PRE PLA

SHEET TITLE: OVERALL GRADING PLAN

7

OWNER:

**BOULDER COUNTY** HOUSING AUTHORITY 2525 13th ST, SUITE 204 BOULDER, CO 80302 303-441-1000



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BOULDER, COLORADO 80301 CONTACT: CAMERON KNAPP, P.E. (303) 442-4338

NOT FOR CONSTRUCTION

DATE: 03/27/2020 PRE PLAN

SHEET TITLE: EMMA ST.

APPROVED:

Know what's below.

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CITY ENGINEER

REVIEW IS FOR GENERAL CONFORMANCE WITH THE CITY OF

THESE DOCUMENTS SHALL REMAIN WITH THE RÉGISTERED

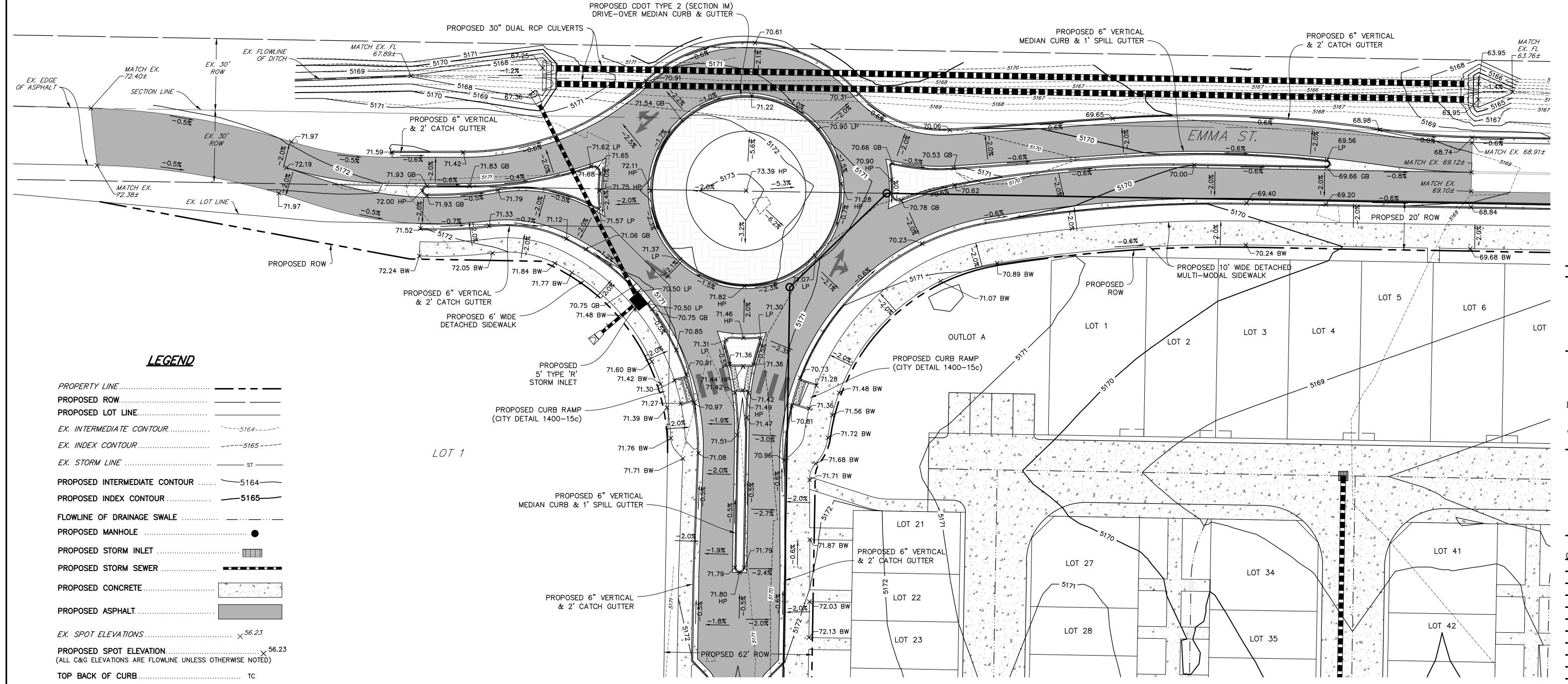
LAFAYETTE "STANDARDS AND SPECIFICATIONS," LATEST EDITION. SOLE RESPONSIBILITY FOR COMPLETENESS AND/OR ACCURACY OF

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**ROUNDABOUT** 





HIGH POINT

LOW POINT

FLOWLINE.

GRADE BREAK

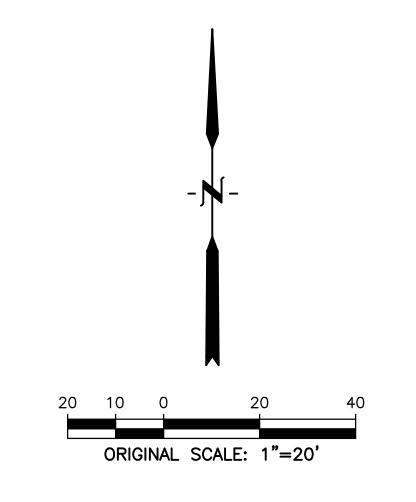
BACK OF WALK

1. ADD 5100 TO ALL SPOT ELEVATIONS

CONTACT: CAMERON KNAPP, P.E.

KEY MAP

NOT TO SCALE



LOT 87

PROPOSED CURB RAMP - (CITY DETAIL 1,400-15a)

73.32 HP-

7,3.92 BW

74.79 HP

PROPOSED 6" VERTICAL & 2' CATCH GUTTER

PROPOSED CURBARAMP (CITY DETAIL 1400-15a)

OUTLOT K

PROPOSED 10'
WIDE ATTACHED
MULTI-MODAL

73.12

PROPOSED

CURB RAMP

1400-15a)

(CITY DETAIL

PROPOSED 6"

MEDIAN CURB & 1' SPILL GUTTER

VERTICAL

72.52 — GB

73.24 BW-

73.26 .**√**⊢ BW

73.25 BW-/

PROPOSED 6" VERTICAL MEDIAN CURB & 1' SPILL GUTTER

PROPOSED CURB RAMP (CITY DETAIL 1400-15c)

PROPOSED 6' WIDE -DETACHED SIDEWALK

LOT 2

PROPOSED 6" VERTICAL -& 2' CATCH GUTTER

PROPOSED CURB RAMP

(CITY DETAIL 1400-15c) —

PROPSED 50' ROW

PROPOSED CDOT TYPE 2 (SECTION IM) DRIVE-OVER MEDIAN CURB & GUTTER

PROPOSED 6" VERTICAL

& 2' CATCH GUTTER -

73.37 BW

73.43 BW-

73.68 BW-

73.83 BW-

LOT 88

73.45

LOT 92

LOT 93

LOT 94

LOT 95

LOT 96

LOT 97

LOT 98

PROPOSED CURB RAMP - (CHY DETAIL 1400-150)

√3.82 BW 5<sub>1>1</sub>

RROPOSED 6" VERTICAL

& 2' CATCH GUTTER

PROPOSÉD 6' WIDE DETACHED SIDEWALK

#### <u>LEGEND</u>

PROF	PERTY	<i>LINE</i>			· · · · · · · · · · -		. – –
PROP	POSED	ROW			····· –		<del>-</del>
PROP	POSED	LOT LIN	IE		····· –		
EX. I	NTERM	EDIA TE	CONTOL	<i>IR</i>		`5	164
EX. /	INDEX	CONTOU	/R				5165
EX. S	STORM	<i>LINE</i>					ST
PROP	POSED	INTERME	EDIATE C	CONTOUR	₹	5	164
PROP	POSED	INDEX (	CONTOU	₹		5	5165——
FLOW	LINE C	F DRAIN	NAGE SV	VALE			
PROP	POSED	MANHOL	E				
PROF	POSED	STORM	INLET				
PROP	POSED	STORM	SEWER				
PROP	POSED	CONCRE	TE				4 <u>.</u>
PROP	POSED	ASPHAL	T				
EX. S	SPOT E	LEVATIC	DNS			···· ×	56.23
				N WLINE UN			
TOP	BACK	OF CUR	В				TC
HIGH	POINT	••••••					HP
LOW	POINT						LP
GRAD	E BRE	<b>AK</b>					GB
BACK	OF W	ALK					BW
FLOW	/LINE						FL
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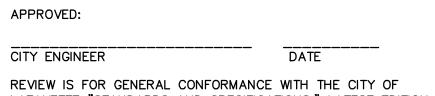
APPROVED: CITY ENGINEER REVIEW IS FOR GENERAL CONFORMANCE WITH THE CITY OF LAFAYETTE "STANDARDS AND SPECIFICATIONS," LATEST EDITION. SOLE RESPONSIBILITY FOR COMPLETENESS AND/OR ACCURACY OF THESE DOCUMENTS SHALL REMAIN WITH THE RÉGISTERED

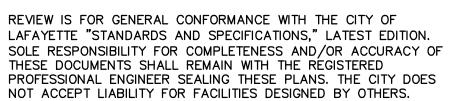
PROFESSIONAL ENGINEER SEALING THESE PLANS. THE CITY DOES NOT ACCEPT LIABILITY FOR FACILITIES DESIGNED BY OTHERS.

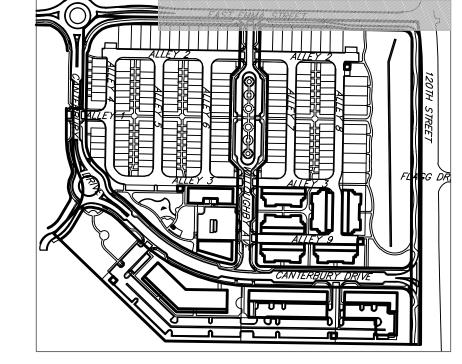
LINE & CURVE TABLE FOR SOUTH EMMA ST. FLOWLINE						
LINE/CURVE	DIRECTION	LENGTH	RADIUS	DELTA	CHORD BEARING	CHORD DISTANCE
L1	S89'00'56"E	700.51				
L2	S89°00'56"E	183.64				
L3	S89°00'56"E	79.02'				
L4	S89°00'56"E	128.53'				
L5	S81°53'26"E	106.29'				
L6	S89'00'56"E	165.66'				
C2		12.70'	40.00'	18"11'42"	S79°55'05"E	12.65'
С3		12.70'	40.00'	18 <b>'</b> 11'42"	N81°53'13"E	12.65'
C4		18.65'	150.00'	7.07,30,	S85°27'11"E	18.64'
C5		18.65'	150.00'	7.07,30,	S85°27'11"E	18.64'
C6		62.26'	40.00'	89"10'55"	S44°25'29"E	56.16'

LINE & CURVE TABLE FOR NORTH EMMA ST. FLOWLINE						
LINE/CURVE	DIRECTION LENGTH RADIUS DELTA CHORD BEARING CHORD DISTANCE					
L1	S89°00'56"E	700.51				
C1		11.38'	40.00'	16"18'09"	N82°50'00"E	11.34'

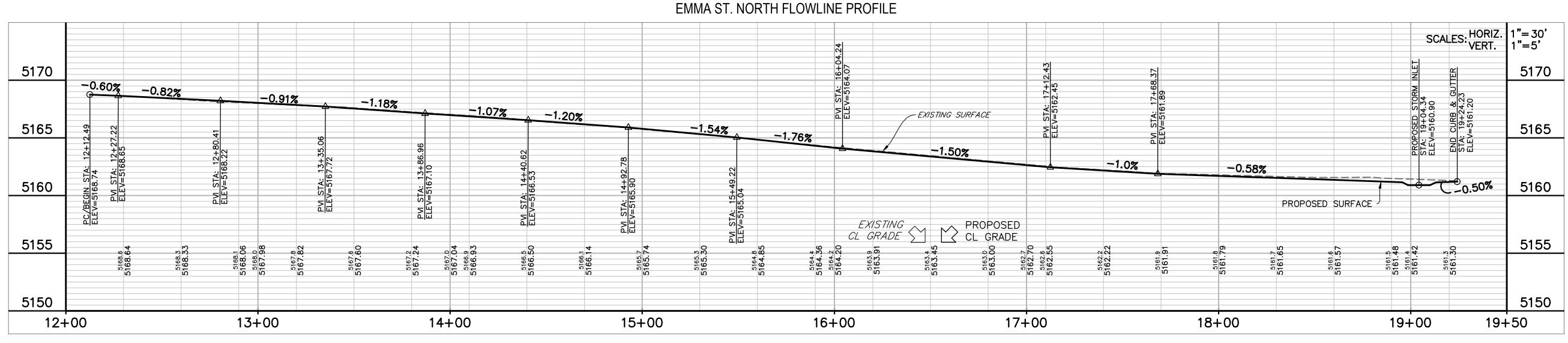












PROPERTY LINE.

PROPOSED ROW...

PROPOSED LOT LINE.

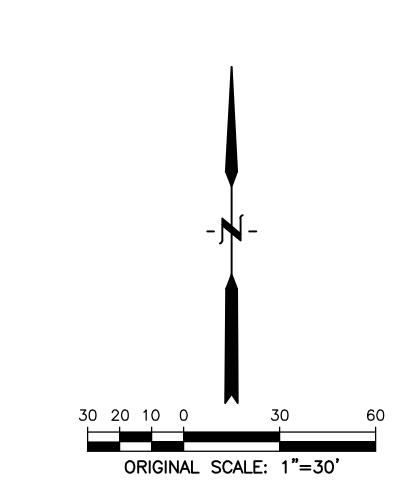
PROPOSED MANHOLE

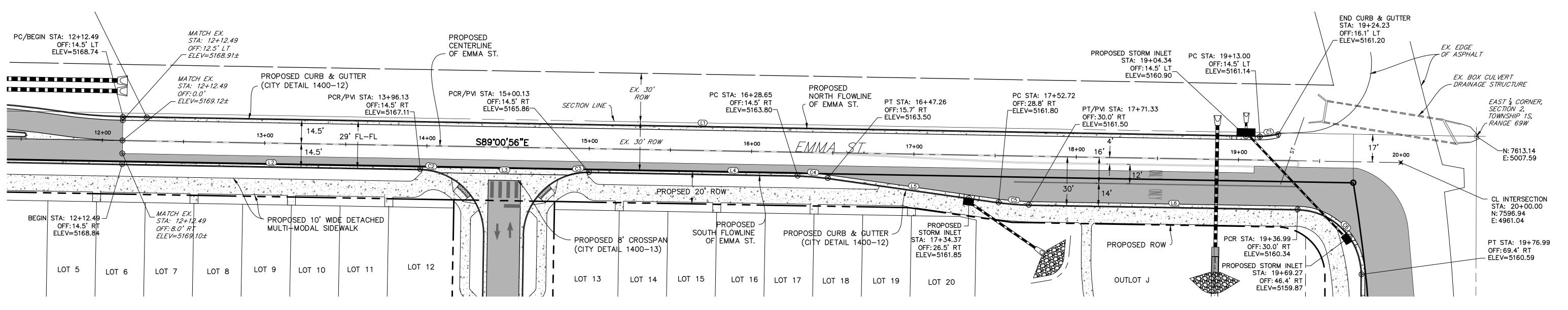
PROPOSED CONCRETE

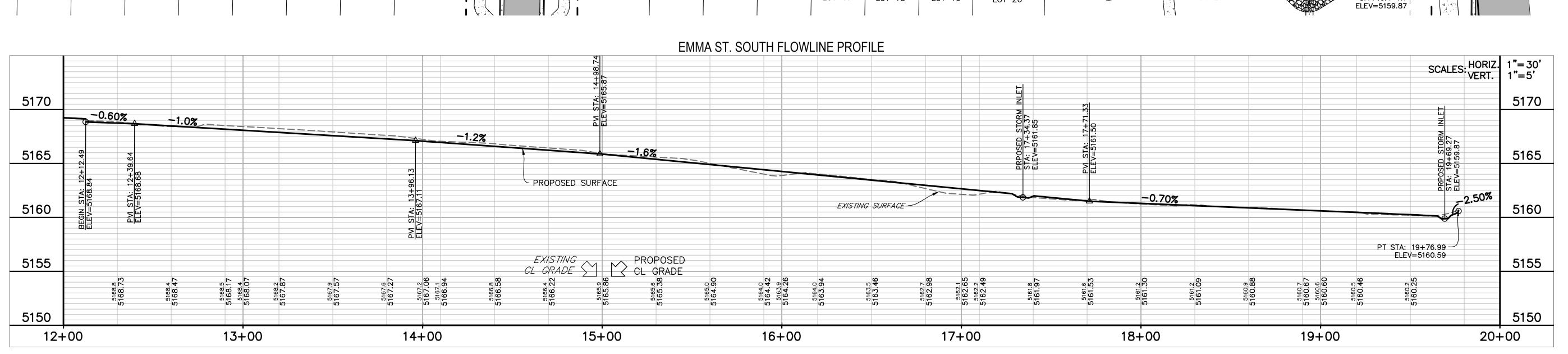
PROPOSED ASPHALT.

PROPOSED STORM INLET

PROPOSED STORM SEWER







ンノンノ

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NOT FOR CONSTRUCTION

DATE: 03/27/2020 PRE PLAN

SHEET TITLE: EMMA ST. PLAN & PROFILE

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0 120th ST LAFAYETTE, CO

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(303) 442-4338

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CONSTRUCTION

DATE: 7/2020 PRE PLA

SHEET TITLE: 120TH ST. PLAN & PROFILE

<u>LEGEND</u>

20 10 0 20 40

ORIGINAL SCALE: 1"=20'

LINE & CURVE TABLE FOR 120TH STREET WEST FLOWLINE

16.77' 70.00' 13'43'45" S07'01'51"W

4.64' 5.00' 53'07'48" S26'23'55"E

3.14' 2.00' 90°00'00" S45°09'59"W

16.77' 70.00' 13'43'45" S06'41'53"E

16.73'

4.47'

2.83'

16.73'

LINE/CURVE DIRECTION LENGTH RADIUS DELTA CHORD BEARING CHORD DISTANCE

S0'09'59"W 663.97'

S0'09'59"W 73.45'

S0'09'59"W 12.65'

S0°09'59"W 38.68'

S0°09'59"W 124.82'

L10

L11

C7

C9

C10

PROPOSED CONCRETE

PROPOSED ASPHALT.

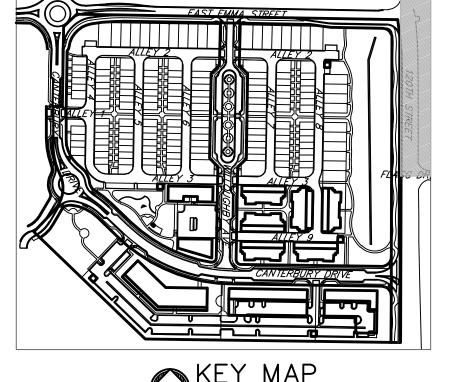


e ow.

APPROVED:

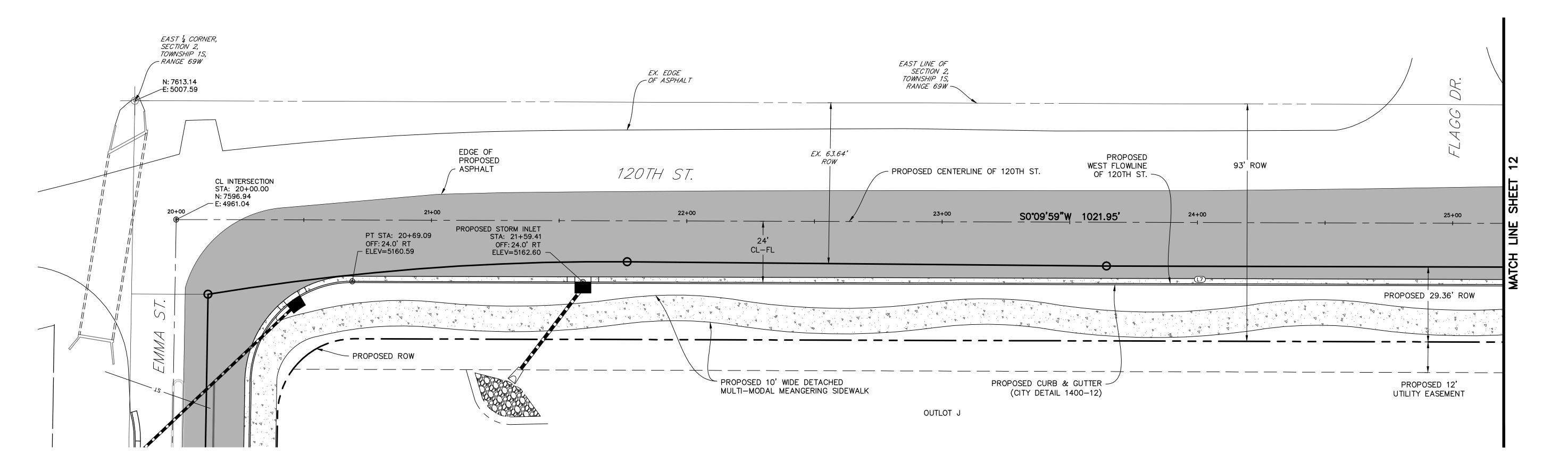
CITY ENGINEER

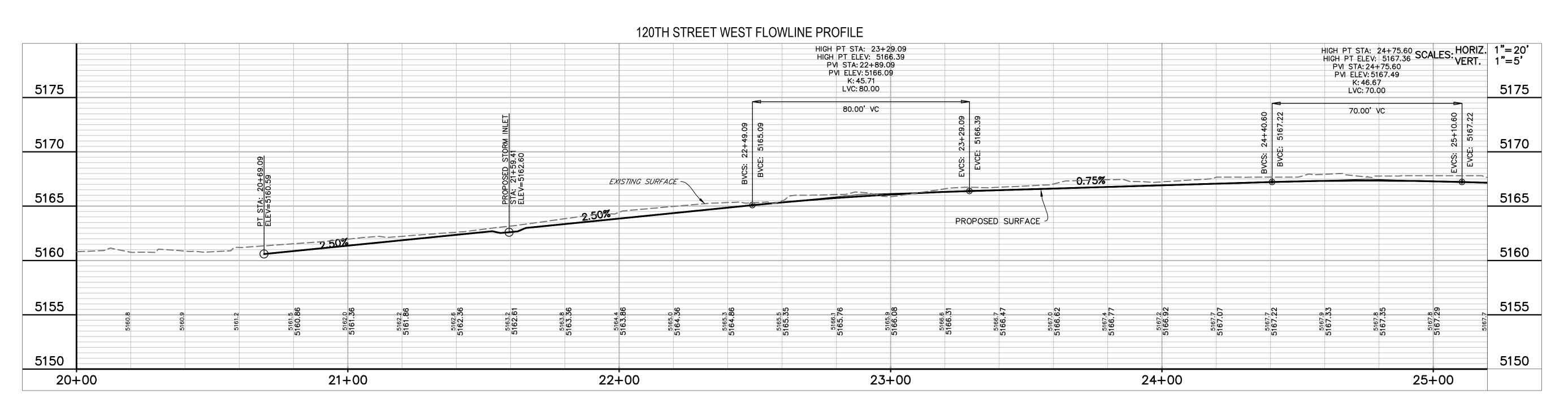
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KEY MAP

NOT TO SCALE





	J,	•		
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DATE: 03/27/2020 PRE PLAN

SHEET TITLE: 120TH ST. PLAN & PROFILE

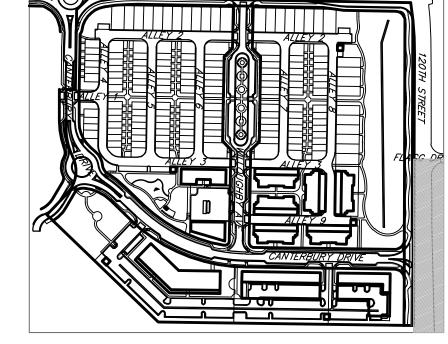
Know what's below.

Call before you dig.

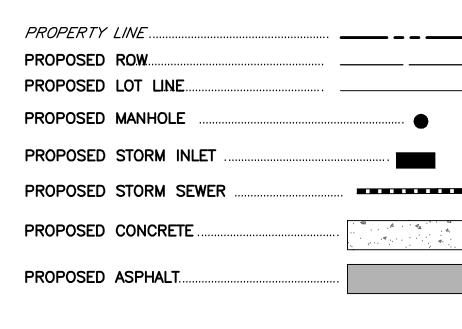
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CITY ENGINEER

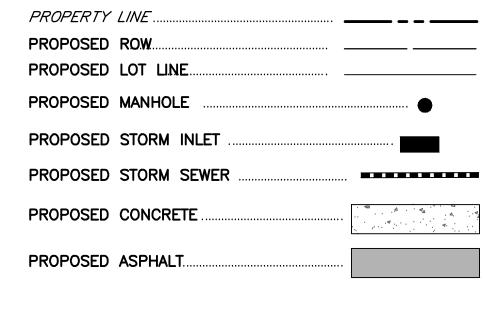
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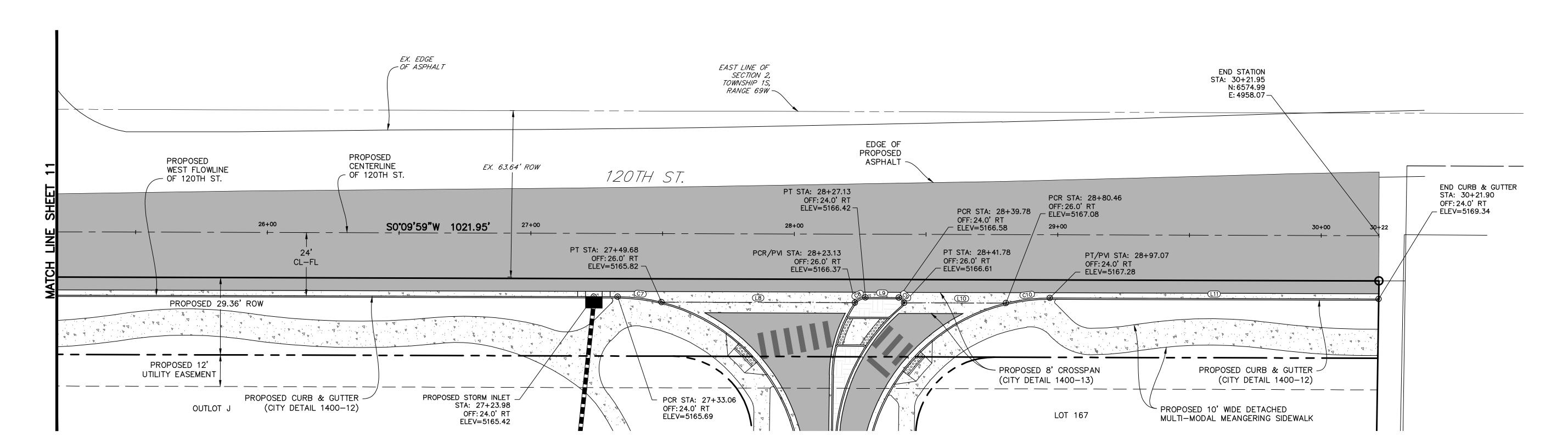


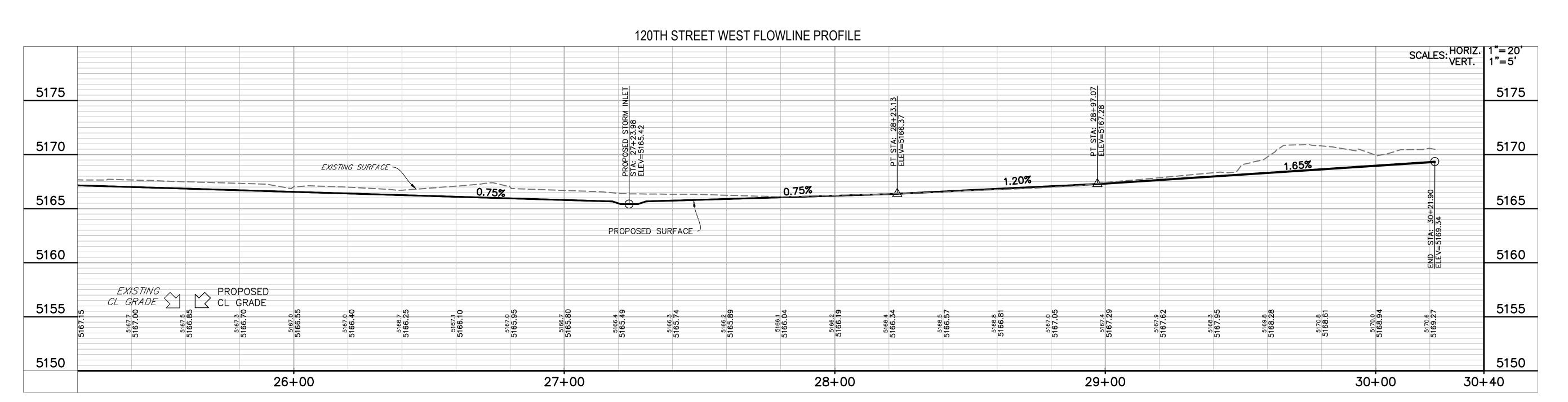




<u>LEGEND</u>







LINE & CURVE TABLE FOR 120TH STREET WEST FLOWLINE

16.77' 70.00' 13'43'45" S07'01'51"W

4.64' 5.00' 53'07'48" S26'23'55"E

3.14' 2.00' 90°00'00" S45°09'59"W

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16.73'

4.47'

2.83'

16.73'

ORIGINAL SCALE: 1"=20"

LINE/CURVE DIRECTION LENGTH RADIUS DELTA CHORD BEARING CHORD DISTANCE

S0'09'59"W 663.97'

S0'09'59"W 73.45' S0'09'59"W 12.65'

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S0'09'59"W 124.82'

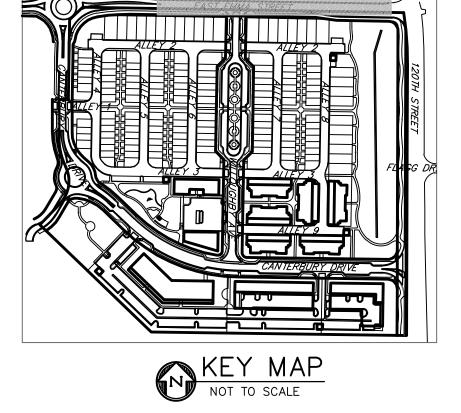
L10

L11

C7

C9

C10

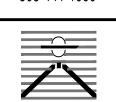


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BOULDER, CO 80302
303-441-1000



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Engineers • Surveyors
1800 38th STREET
BOULDER, COLORADO 80301
CONTACT: CAMERON KNAPP, P.E.
(303) 442-4338

NOT FOR CONSTRUCTION

DATE: 27/2020 PRE PL

SHEET TITLE:

EMMA ST.

CROSS SECTIONS

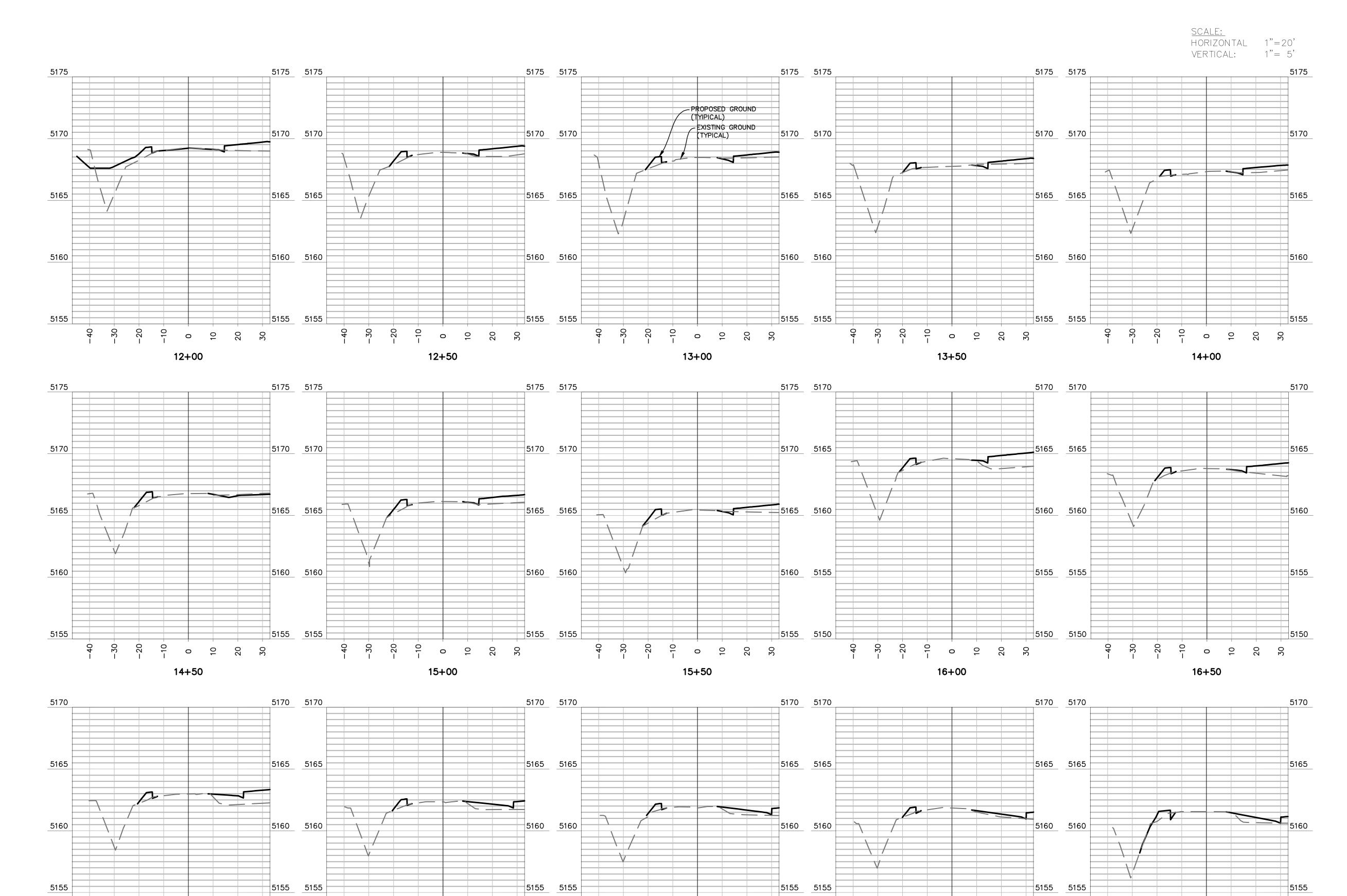
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APPROVED:

CITY ENGINEER

DATE

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-40 -30 -10 0 0 20 30

18+00

18+50

19+00

-40 -30 -10 0 20 30

17+50

CWK

17+00

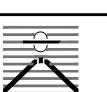
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13

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BOULDER, COLORADO 80301
CONTACT: CAMERON KNAPP, P.E.
(303) 442-4338

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DATE:

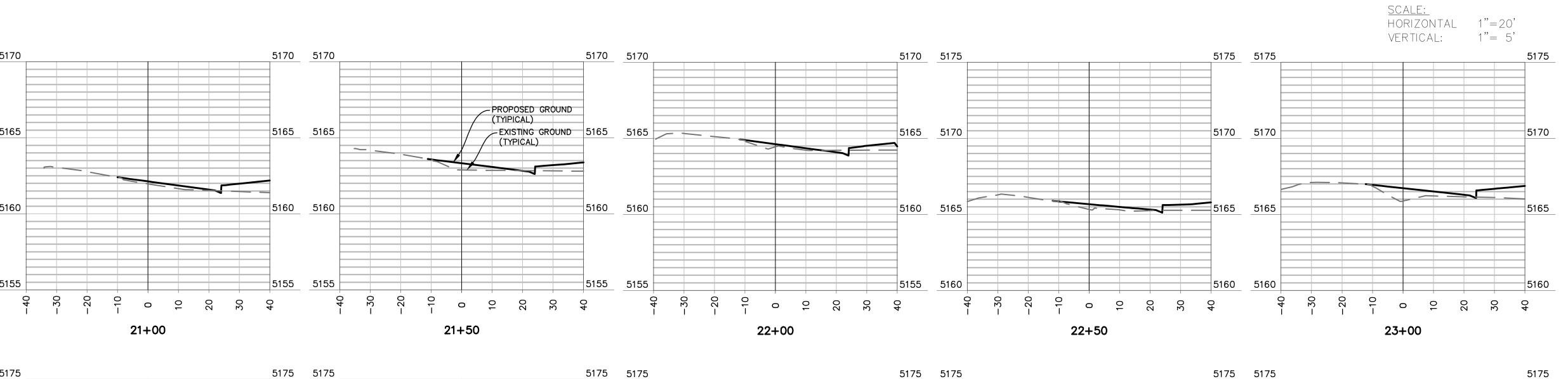
SHEET TITLE: 120TH ST. **CROSS SECTIONS** 

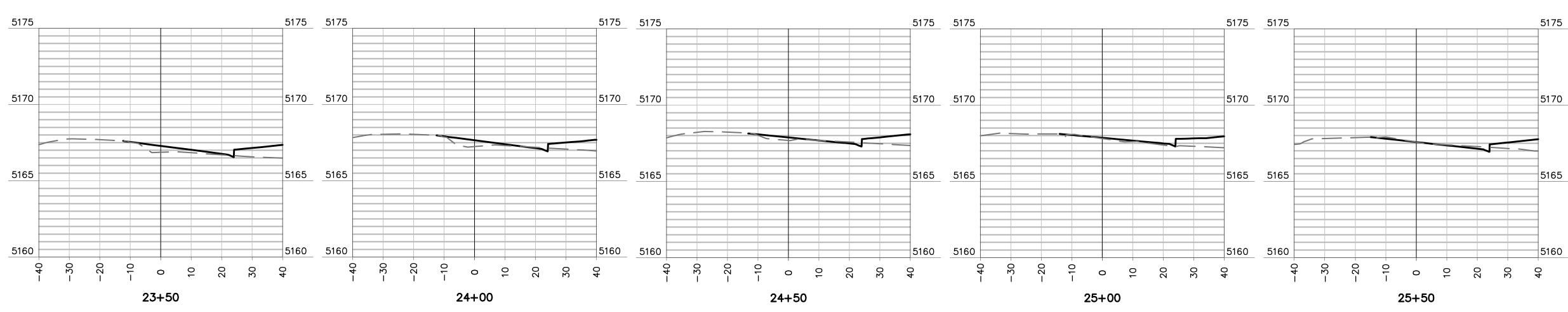
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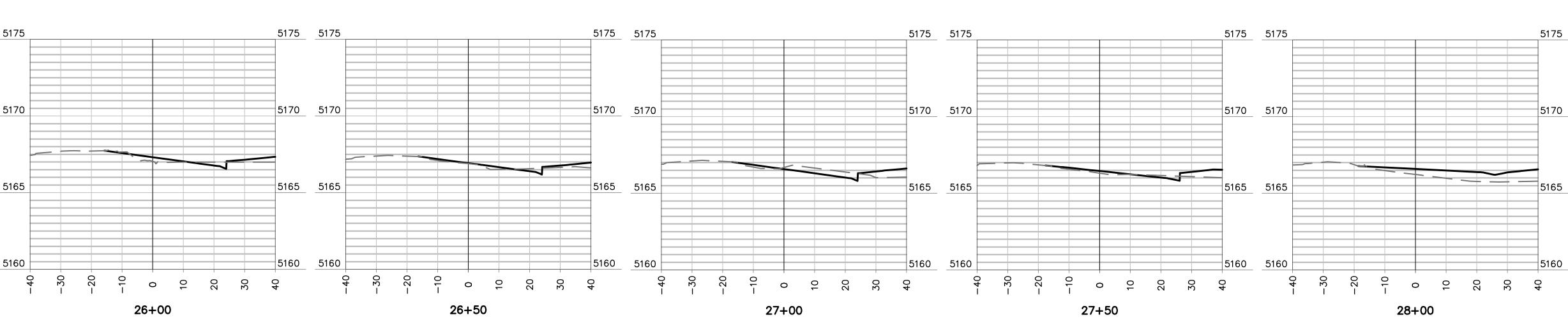
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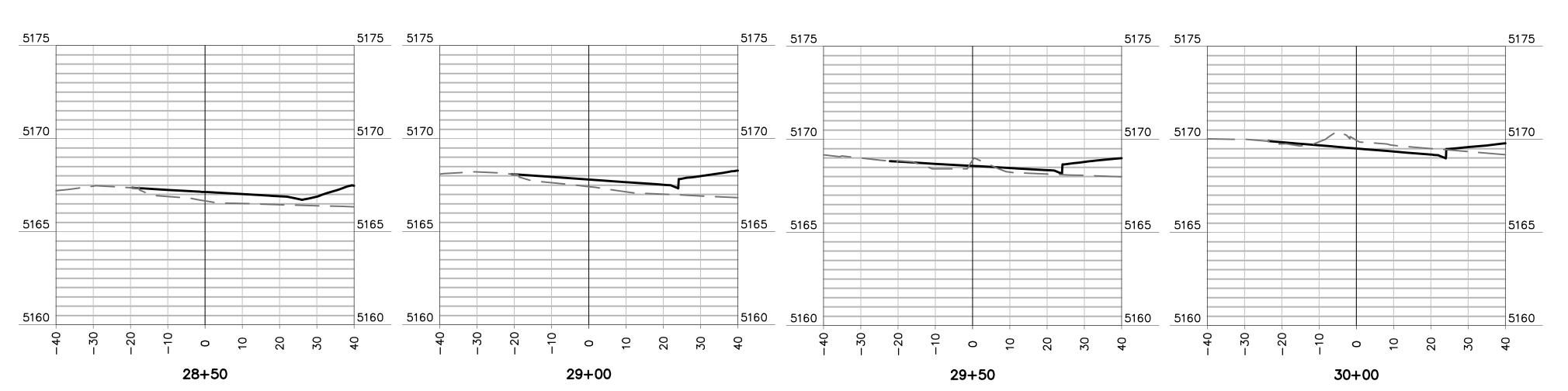
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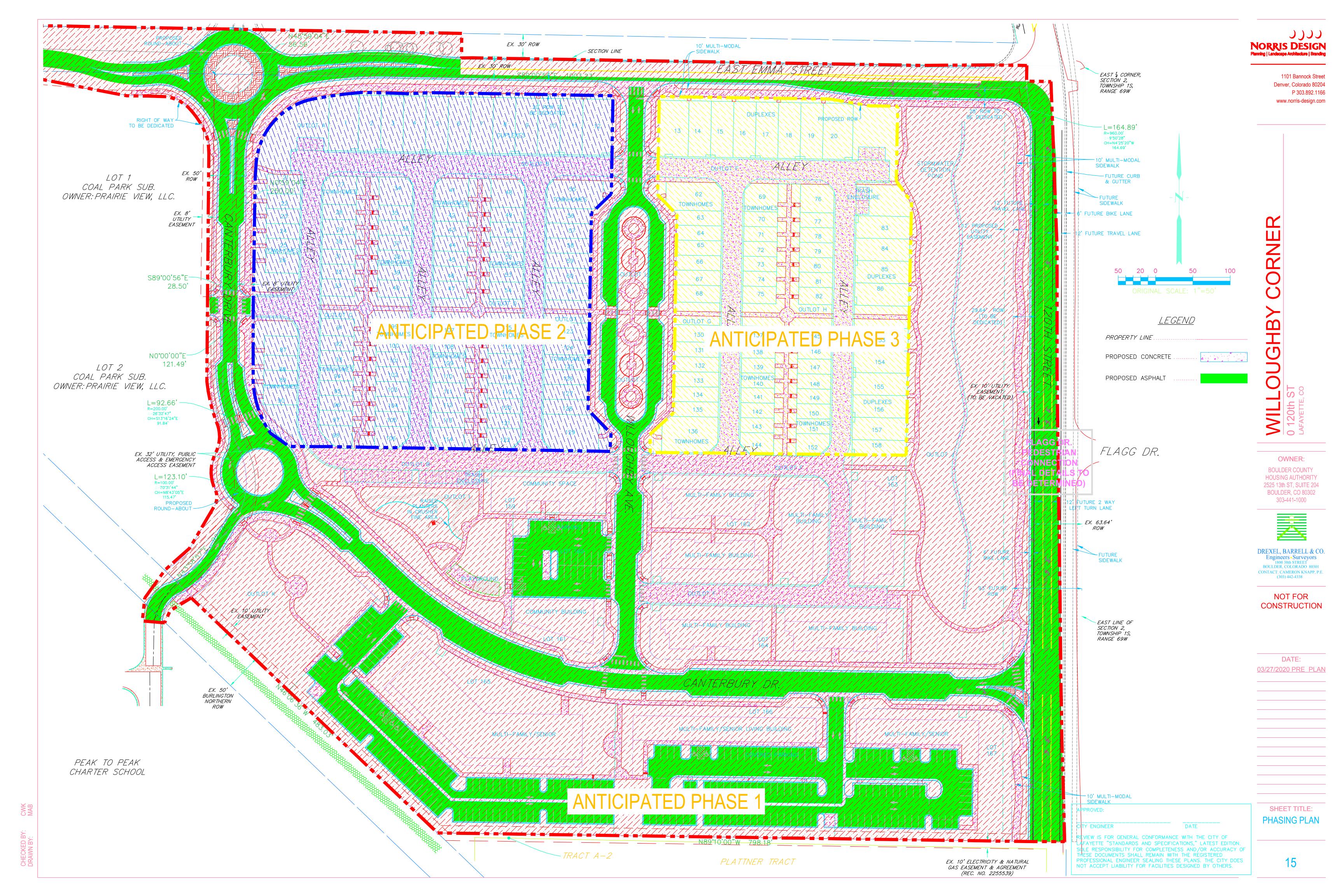


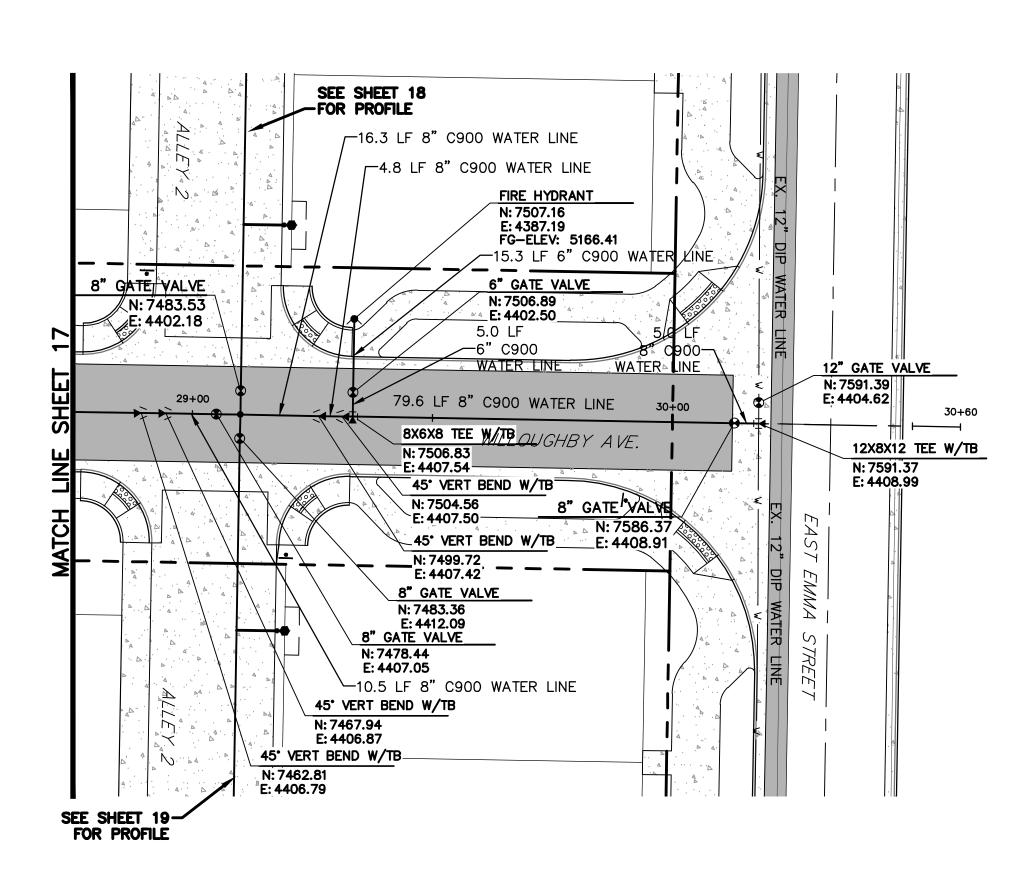


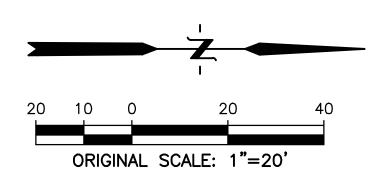
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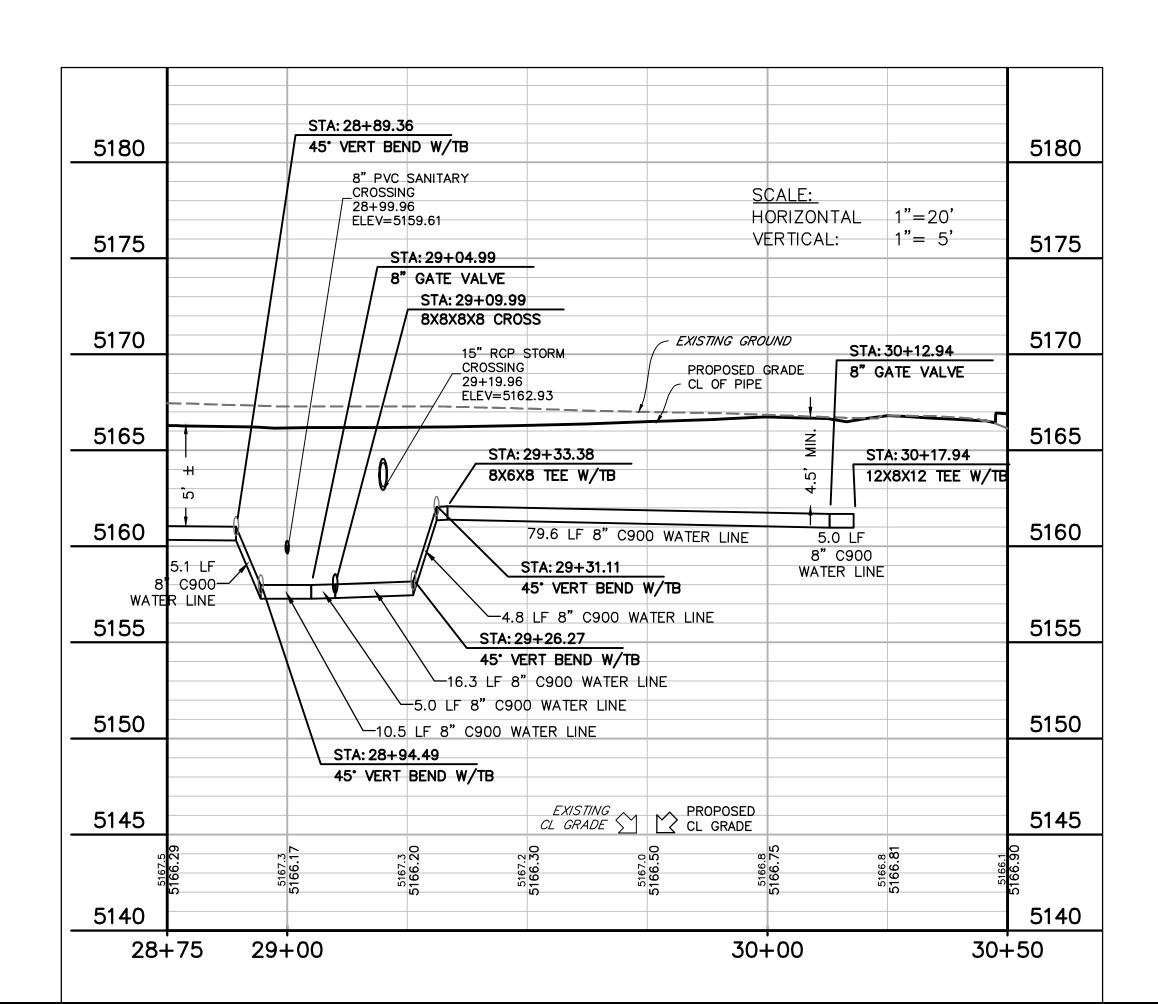
DATE CITY ENGINEER

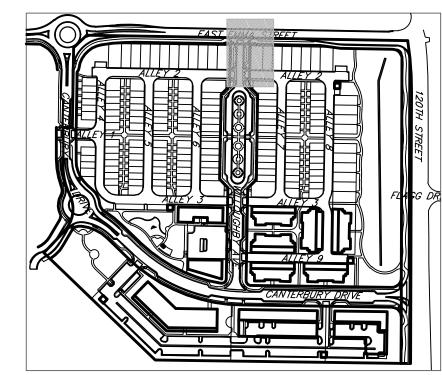
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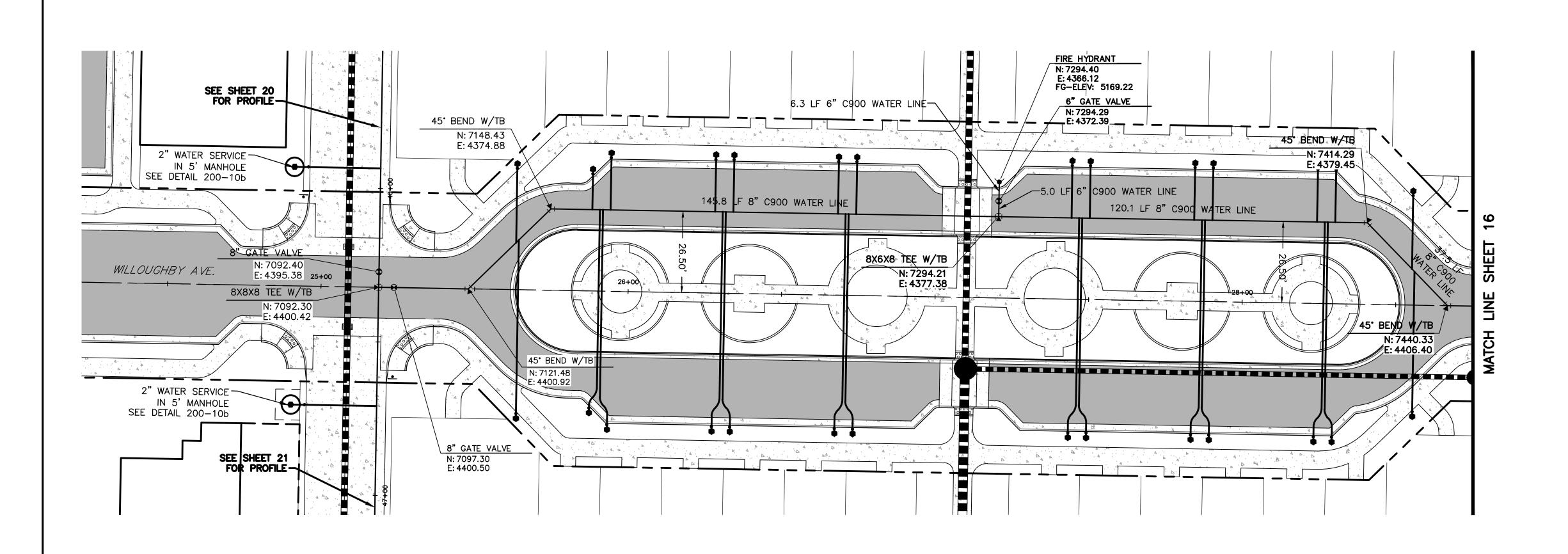


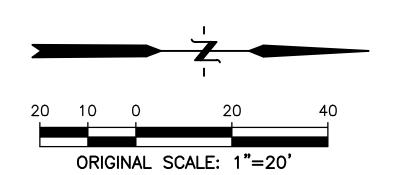
PROPERTY LINE	$\supseteq$
PROPOSED LOT LINE            PROPOSED ROW	
EX. SANITARY SEWERssss	<b></b>   ≨ ∷
EX. WATER LINE w w	<b>1</b> 20
EX. STORM LINE st ———	<b>&gt;</b> lo∃
EX. GAS LINE	
EX. BURIED ELECTRIC LINE E	OWNER:
EX. OVERHEAD ELECTRIC LINE ou	BOULDER COUNTY HOUSING AUTHORITY
EX. CABLE TV ctv	2525 13th ST, SUITE 204
EX. FIRE HYDRANT	BOULDER, CO 80302 303-441-1000
EX. WATER VALVE	
EX. WATER METER	
EX. MANHOLE	
EX. LIGHT POLE	DREXEL, BARRELL & CO.
EX. UTILITY POLE	Engineers • Surveyors 1800 38th STREET BOULDER, COLORADO 80301
PROPOSED STORM SEWER	CONTACT: CAMERON KNAPP, P.E. (303) 442-4338
PROPOSED SANITARY SEWER	
PROPOSED WATER LINE	NOT FOR CONSTRUCTION
PROPOSED FIRE HYDRANT	
PROPOSED WATER VALVE	
PROPOSED WATER METER	
PROPOSED MANHOLE	DATE:
PROPOSED STORM INLET	03/27/2020 PRE PLAN
PROPOSED CONCRETE	DRAFI
PROPOSED ASPHALT	
NOTE: W/TB = WITH TRUST BLOCK	

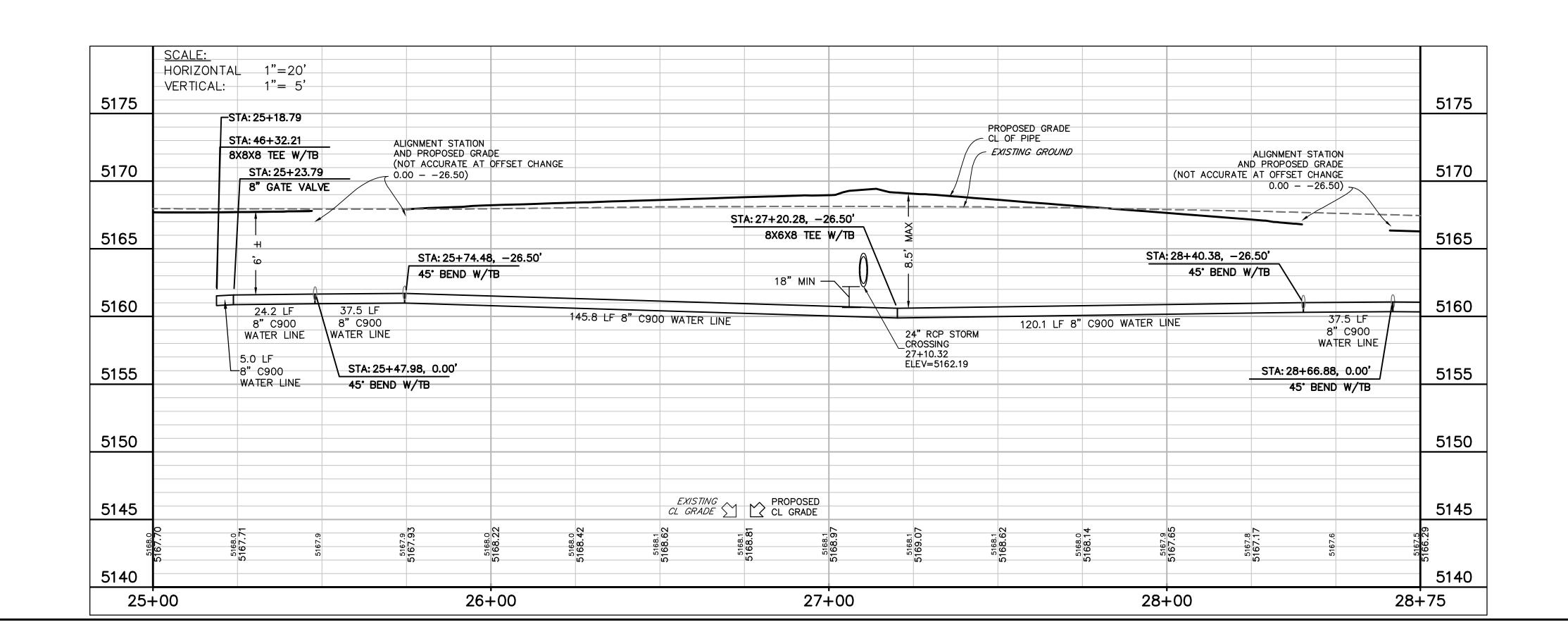
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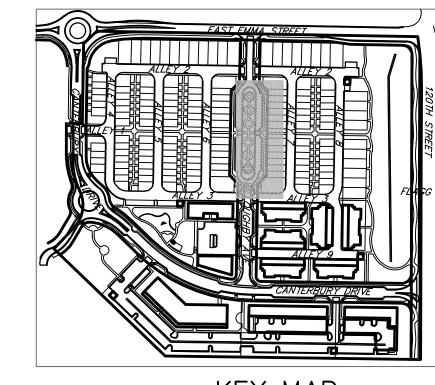


> SHEET TITLE: WATER 1A **PROFILE**













PROPERTY LINE
PROPOSED LOT LINE            PROPOSED ROW
EX. SANITARY SEWER ss
EX. WATER LINE w w
EX. STORM LINE st st
<i>EX. GAS LINE</i>
EX. BURIED ELECTRIC LINE E
EX. OVERHEAD ELECTRIC LINE ou
EX. CABLE TV ctv
EX. FIRE HYDRANT
EX. WATER VALVE
EX. WATER METER
EX. MANHOLE
EX. LIGHT POLE
EX. UTILITY POLE
PROPOSED STORM SEWER
PROPOSED SANITARY SEWER
PROPOSED WATER LINE
PROPOSED FIRE HYDRANT
PROPOSED WATER VALVE
PROPOSED WATER METER
PROPOSED MANHOLE
PROPOSED STORM INLET
PROPOSED CONCRETE
PROPOSED ASPHALT
NOTE: W/TB = WITH TRUST BLOCK

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BOULDER, CO 80302

303-441-1000



CONTACT: CAMERON KNAPP, P.E. (303) 442-4338

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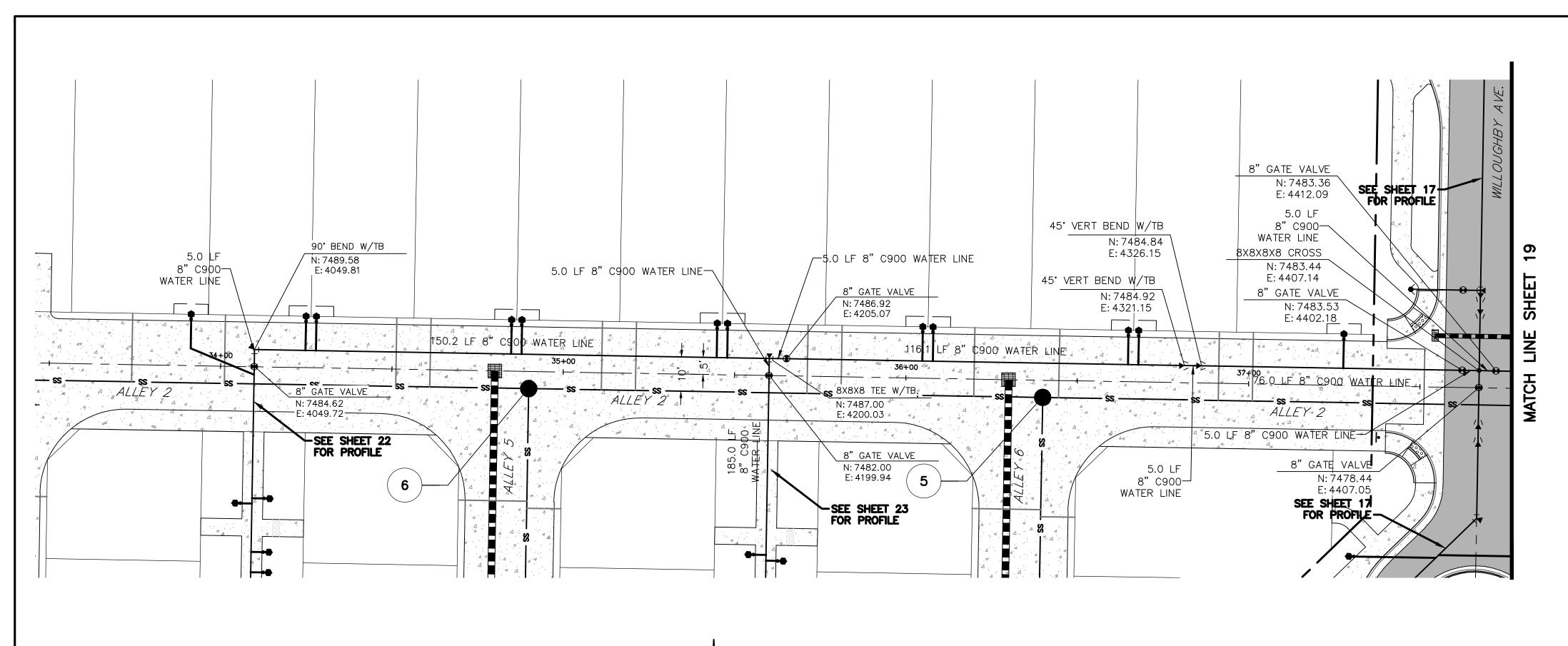
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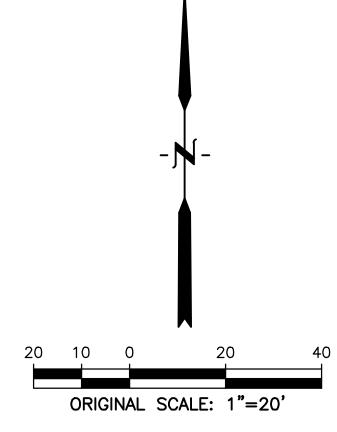
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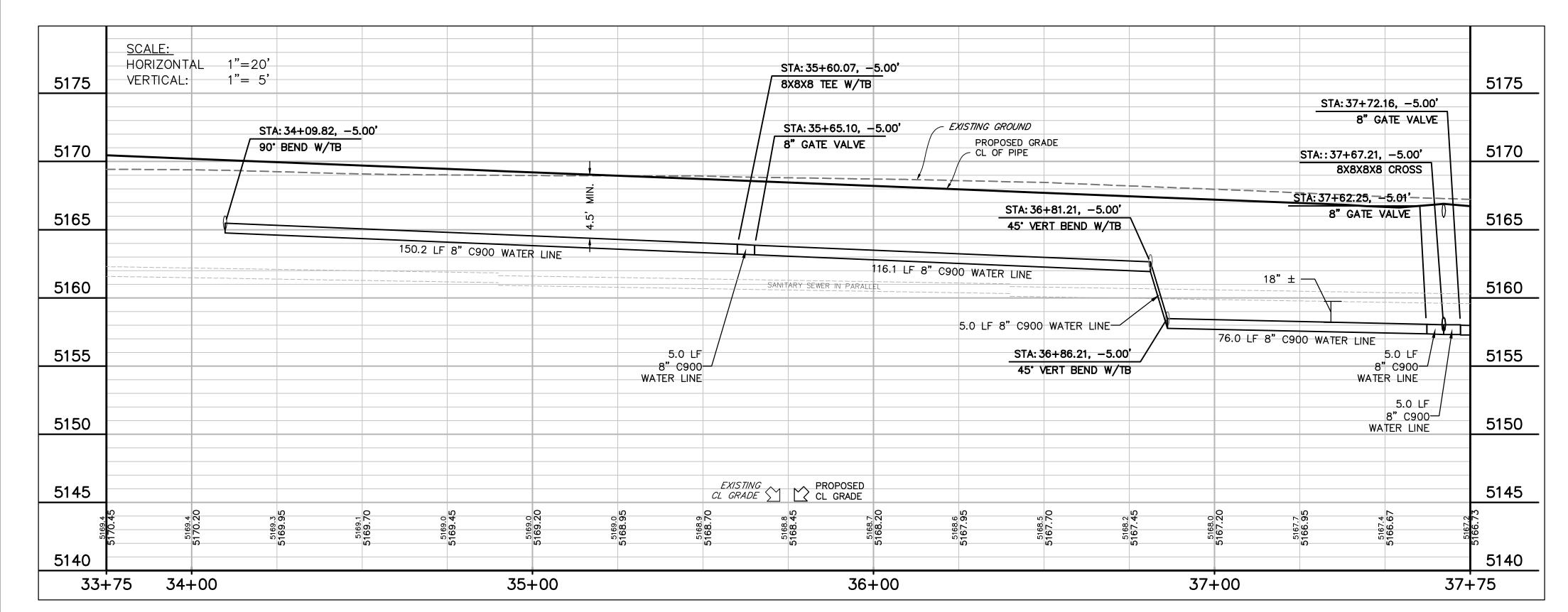
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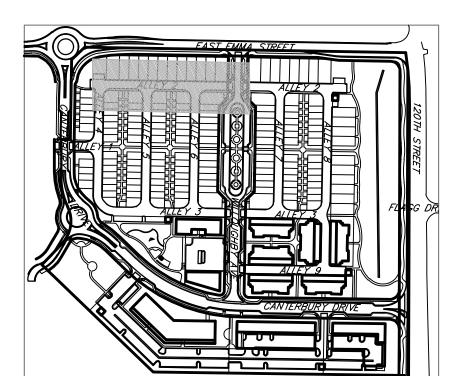
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PROPERTY LINE
PROPOSED LOT LINE            PROPOSED ROW
EX. SANITARY SEWER ss
EX. WATER LINE w w
EX. STORM LINE st ——— st ———
EX. GAS LINE
EX. BURIED ELECTRIC LINE E
EX. OVERHEAD ELECTRIC LINE ou
EX. CABLE TV ctv
EX. FIRE HYDRANT &
EX. WATER VALVE
EX. WATER METER
EX. MANHOLE
EX. LIGHT POLE
EX. UTILITY POLE
PROPOSED STORM SEWER
PROPOSED SANITARY SEWER
PROPOSED WATER LINE
PROPOSED FIRE HYDRANT
PROPOSED WATER VALVE ⊕
PROPOSED WATER METER
PROPOSED MANHOLE
PROPOSED STORM INLET
PROPOSED CONCRETE
PROPOSED ASPHALT
NOTE: W/TB = WITH TRUST BLOCK

APPI	ROVE
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1800 38th STREET
BOULDER, COLORADO 80301 CONTACT: CAMERON KNAPP, P.E.

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(303) 442-4338

DATE:

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SHEET TITLE: WATER 2A **PROFILE** 

18

OWNER:

**BOULDER COUNTY** HOUSING AUTHORITY 2525 13th ST, SUITE 204 BOULDER, CO 80302 303-441-1000



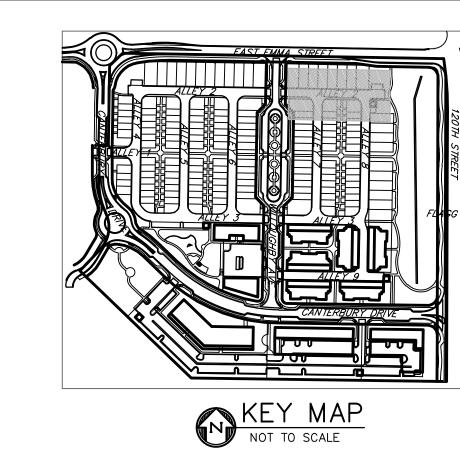
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DATE:

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SHEET TITLE: WATER 2B **PROFILE** 







EX. SANITARY SEWER.

EX. BURIED ELECTRIC LINE

EX. OVERHEAD ELECTRIC LINE..... \_\_\_\_\_ ou \_\_\_\_

EX. WATER LINE .

EX. STORM LINE

EX. CABLE TV.....

EX. FIRE HYDRANT..

EX. WATER VALVE...

EX. WATER METER.

EX. MANHOLE ..

EX. LIGHT POLE

EX. UTILITY POLE ..

PROPOSED STORM SEWER.

PROPOSED WATER LINE

PROPOSED FIRE HYDRANT

PROPOSED WATER VALVE

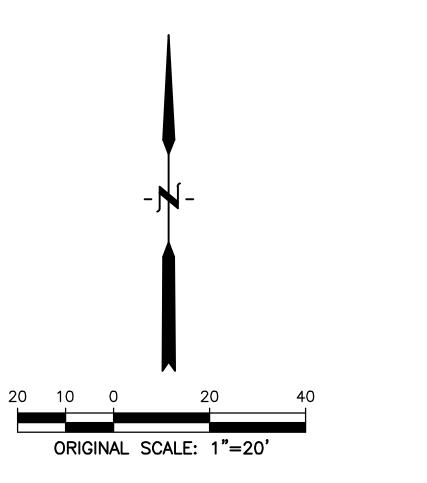
PROPOSED WATER METER

DDODGOED OTODIA WILET

PROPOSED MANHOLE

PROPOSED SANITARY SEWER

EX. GAS LINE.



5.0 LF

8" GATE VALVE N: 7479.79 E: 4619.29

65.0 LF 8" C900 WA

5.Q LF 4 -8" C900 WATER LINE

-SEE SHEET 24 FOR PROFILE

90° BEND W/TB

8" C900 WATER LINE

SEE SHEET 25-FOR PROFILE

N: 7478.68 E: 4684.31

8" C900— WATER LINE

N: 7479.88 E: 4614.29

8" GATE VALVE

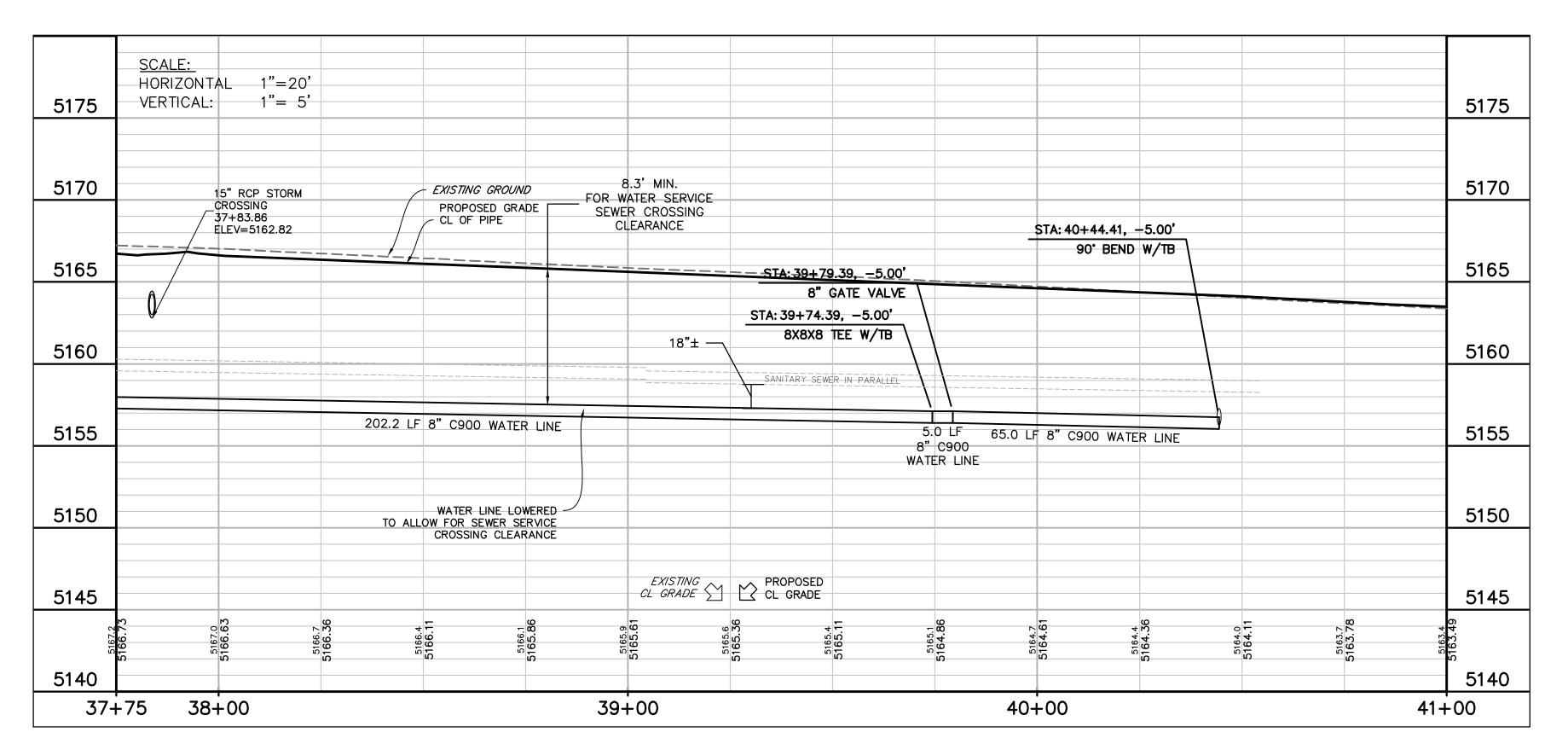
N: 7474.88 E: 4614.21

8×8X8 TEE W/TB

4

8 C900 WATER LINE

ALLEY 2



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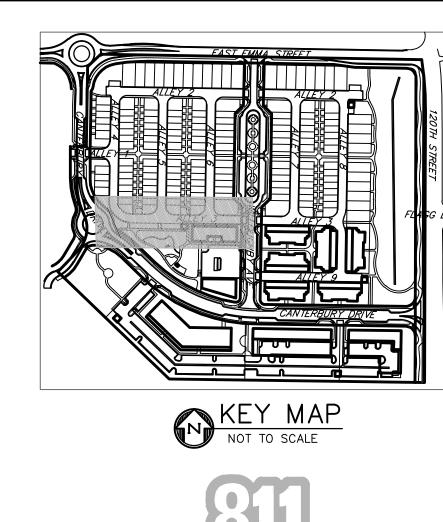
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DATE: 03/27/2020 PRE PLAN

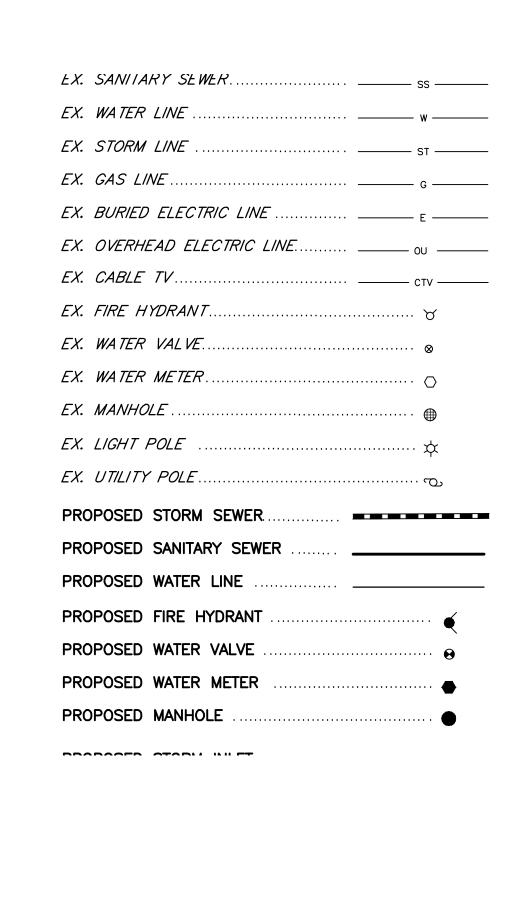
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SHEET TITLE: WATER 3A

PROFILE

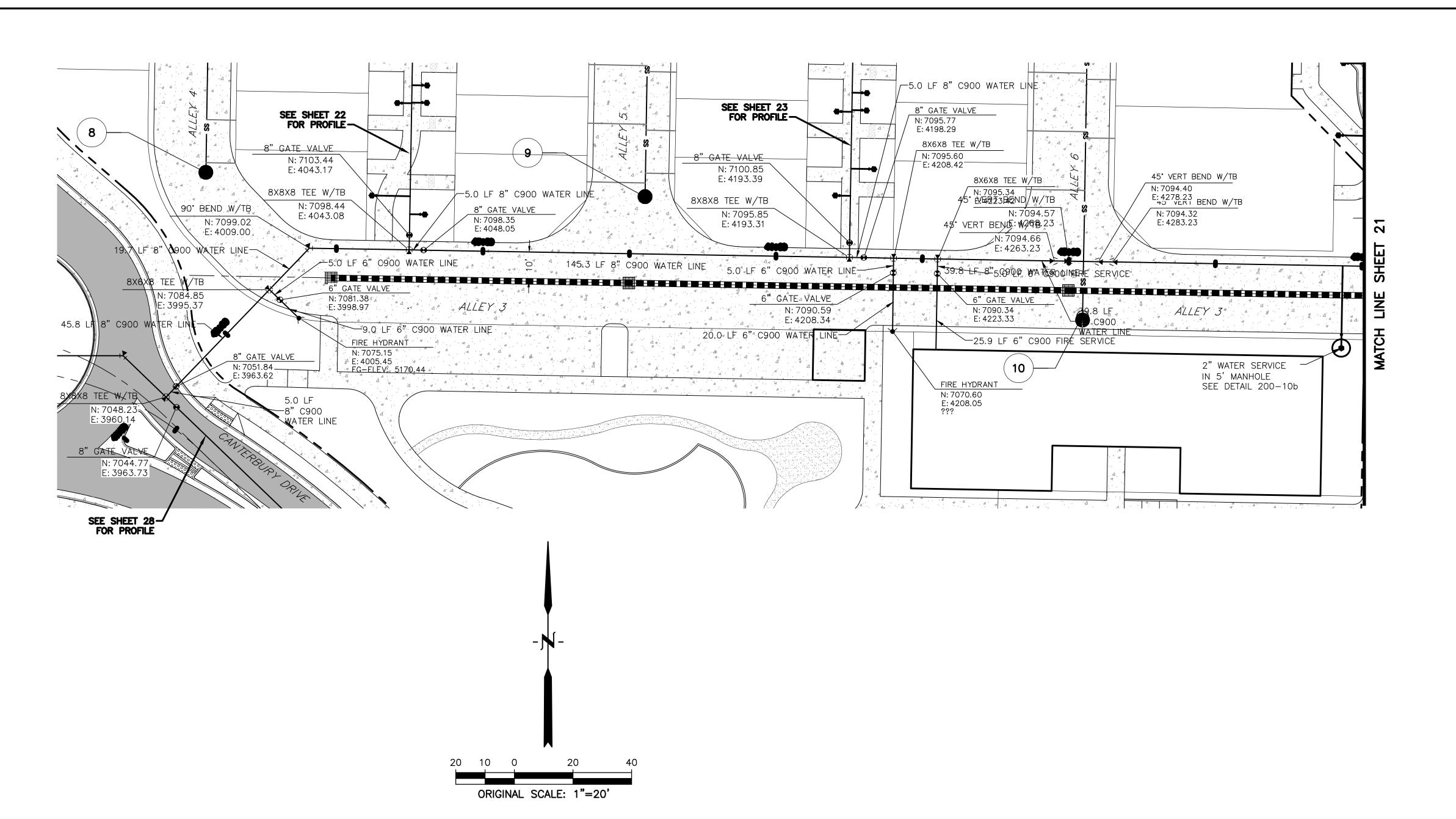


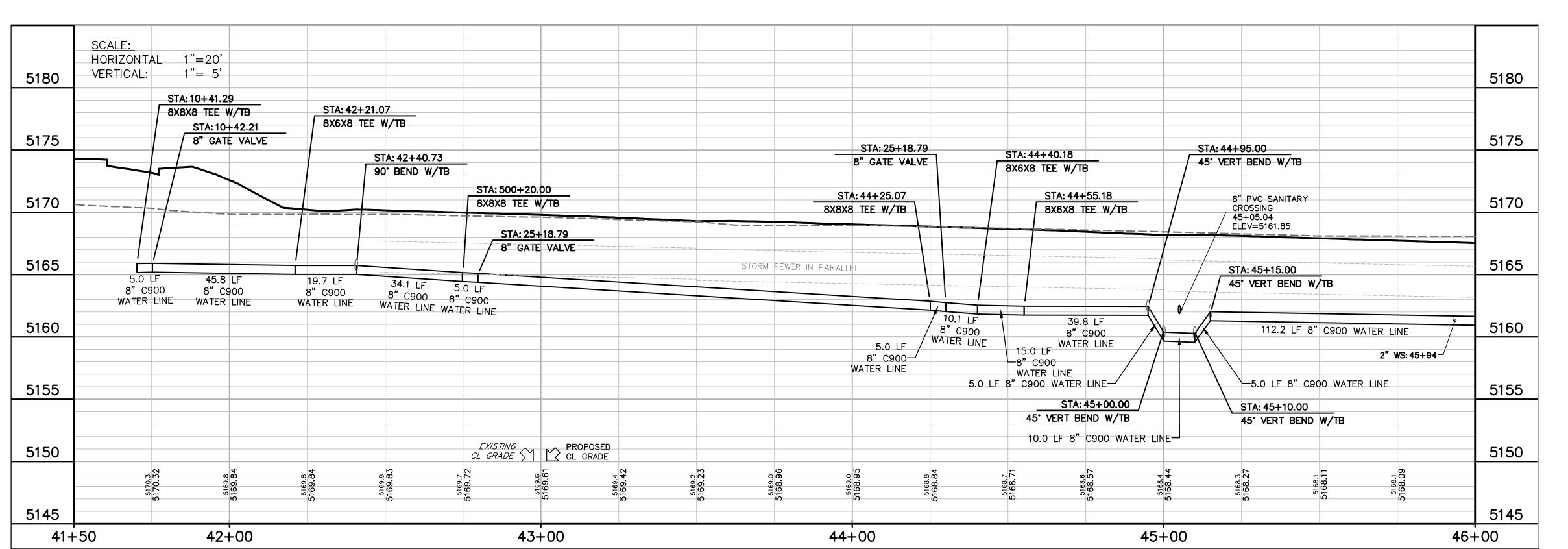




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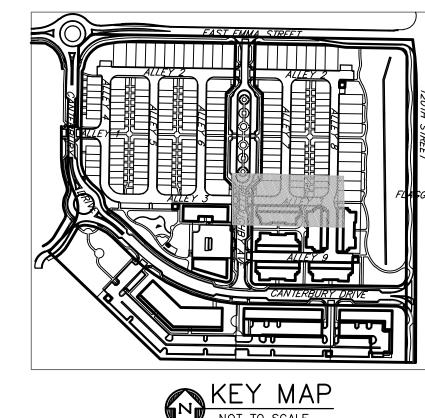


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SHEET TITLE:

WATER 3B **PROFILE** 





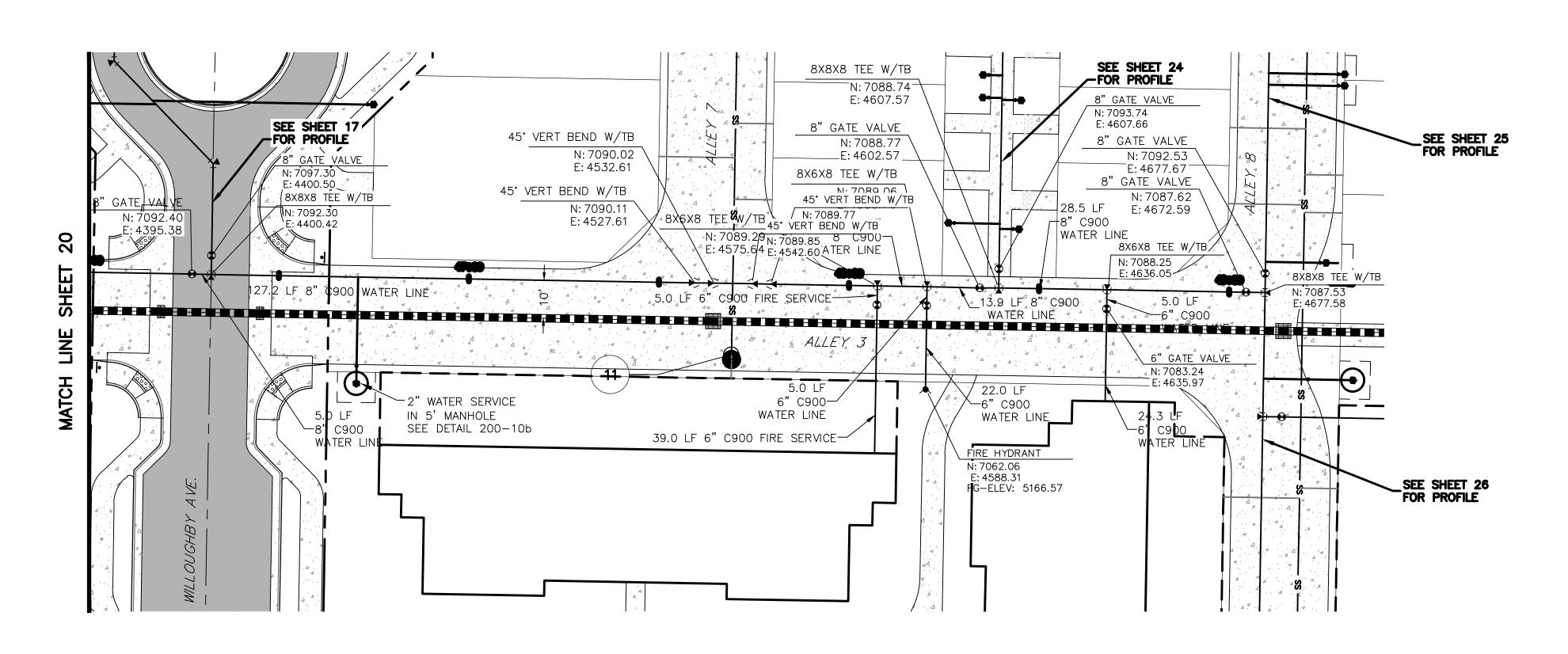


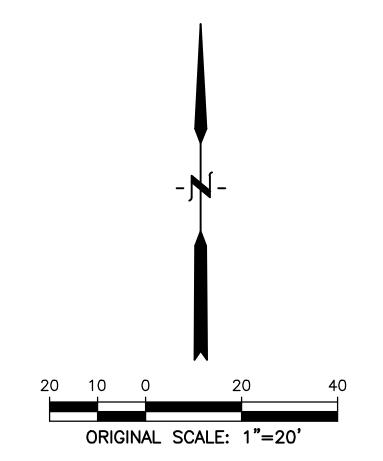
#### EX. SANITARY SEWER. EX. WATER LINE . EX. STORM LINE EX. GAS LINE .. EX. BURIED ELECTRIC LINE EX. OVERHEAD ELECTRIC LINE.... EX. CABLE TV.... EX. FIRE HYDRANT.. EX. WATER VALVE.. EX. WATER METER. EX. MANHOLE .. EX. LIGHT POLE EX. UTILITY POLE .. PROPOSED STORM SEWER. . . . . . . . PROPOSED SANITARY SEWER PROPOSED WATER LINE PROPOSED FIRE HYDRANT PROPOSED WATER VALVE PROPOSED WATER METER PROPOSED MANHOLE DDODGOED OTODIA WILET

#### APPROVED:

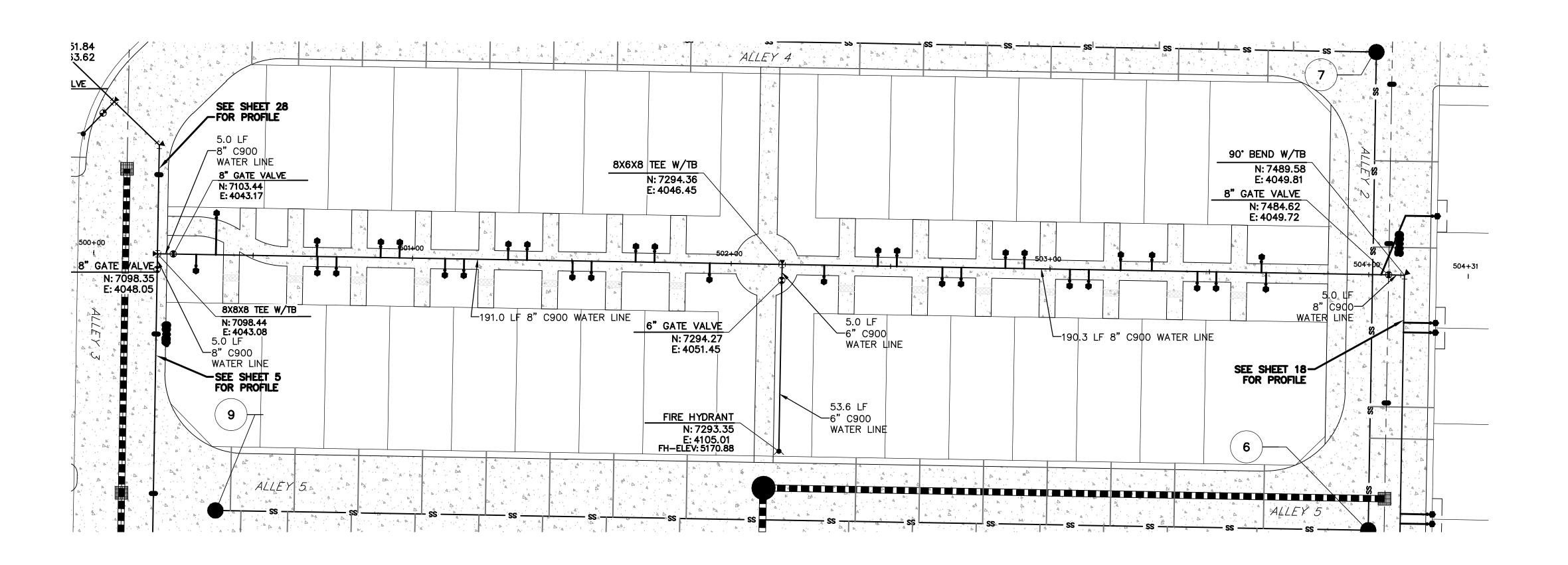
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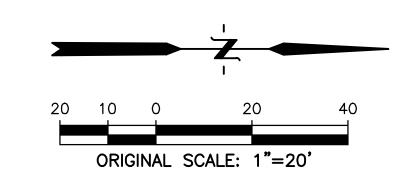
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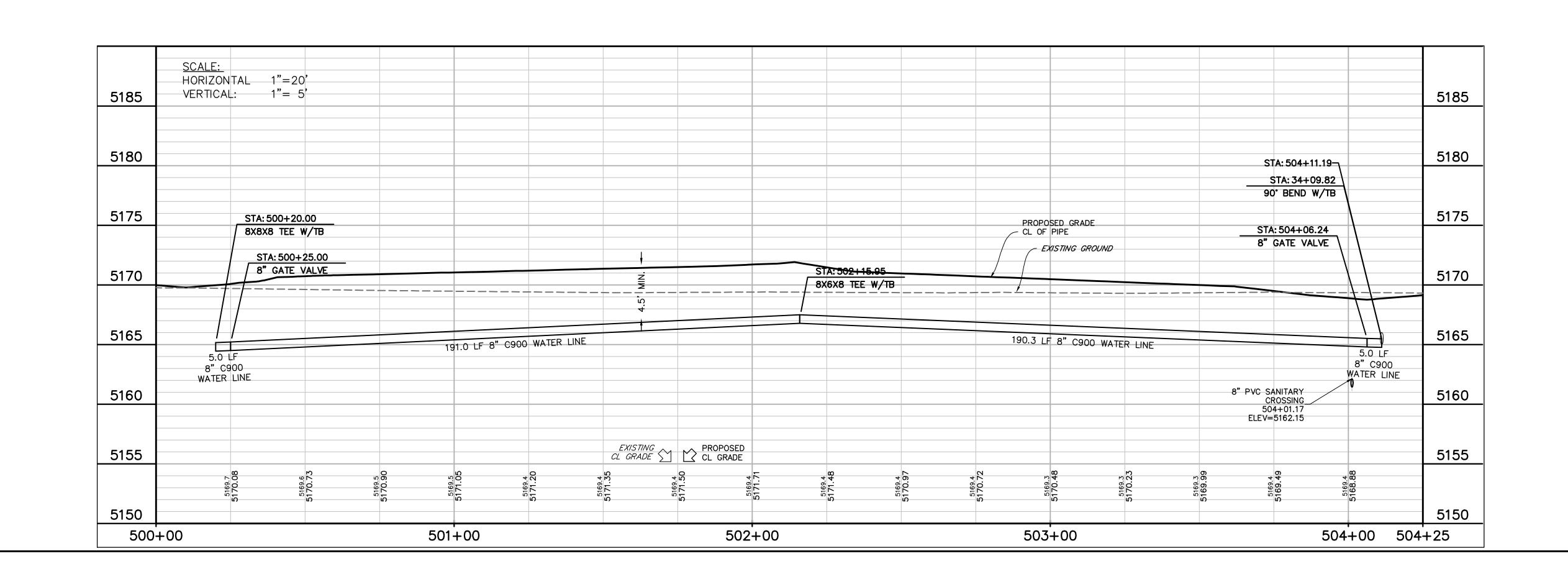


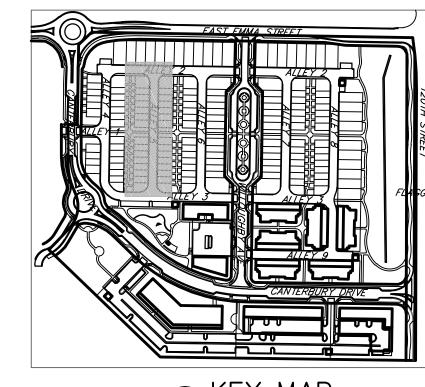


— НО	ALE:  ORIZONTAL 1"=20'  RTICAL: 1"= 5'					5180
5175		6' MIN. TO PROVIDE 18" CLEARANCE FOR FIRE LINES AT STORM CROSSING	STA: 48+20.52	STA: 25+18.73		5175
5170	STA: 46+27.17 PRO	POSED GRADE  POSED GRADE  DF PIPE  \$5° PVERSABENDY W/TB  CROSSING	8X6X8 TEE W/TB	8" GATE VALVE STA: 48+39.39	STA: 72+14,11 8X8X8 TEE W/TB	5170
5165	STA: 46+32.21	CROSSING_ 47+69.39 ELEV=5160.57	STA: 48+07.45  8X6X8 TEE W/TB  \( \frac{2}{5} \)	8X8X8 TEE W/TE	STA: 49+04.42	5165
5160	STORM SEWER IN PARALLEL 1:	8"± — 45" VERT BEND W/TB	7 J.Ü. ∑	1 1 1 — —	TA: 48+67.87 K6X8 TEE W/TB	5160
5155	5.0 LF 8" C900 WA TER LINE <b>2" WS: 46+71</b>	5.0 LF 8" C900 WATER LINE  STA: 47+64.41  45* VERT BEND W/TB		13.9 LF 28.5 LF 8" C900 8" C900 WATER LINE WATER LINE 3.1 LF 8" C900 WATER LINE	36.5 LF 5.0 LF 8" C900 8" C900 WATER LINE WATER LINE	5155
5150	EXISTING CL GRADE	10.0 LF 8" C900 WATER LINE	5.0 LF 8" C90 STA: 47+74.41 45' VERT BEND	O WATER LINE		5150
5145	5167.98 5167.9 5167.9 5167.8 5167.8	5167.7 5167.74 5167.7 5167.6 5167.6	5167.6 5167.6 5167.6 5167.6	5167.7 5167.6 5167.6 5167.6	5167.59 5167.44 5167.44	5145













PROPERTY LINE
PROPOSED LOT LINE            PROPOSED ROW
EX. SANITARY SEWER ss
EX. WATER LINE w
EX. STORM LINE st st
EX. GAS LINE
EX. BURIED ELECTRIC LINE E
EX. OVERHEAD ELECTRIC LINE ou
EX. CABLE TV ctv
EX. FIRE HYDRANT
EX. WATER VALVE
EX. WATER METER
EX. MANHOLE
EX. LIGHT POLE
EX. UTILITY POLE
PROPOSED STORM SEWER
PROPOSED SANITARY SEWER
PROPOSED WATER LINE
PROPOSED FIRE HYDRANT
PROPOSED WATER VALVE
PROPOSED WATER METER
PROPOSED MANHOLE
PROPOSED STORM INLET
PROPOSED CONCRETE
PROPOSED ASPHALT
NOTE: W/TB = WITH TRUST BLOCK

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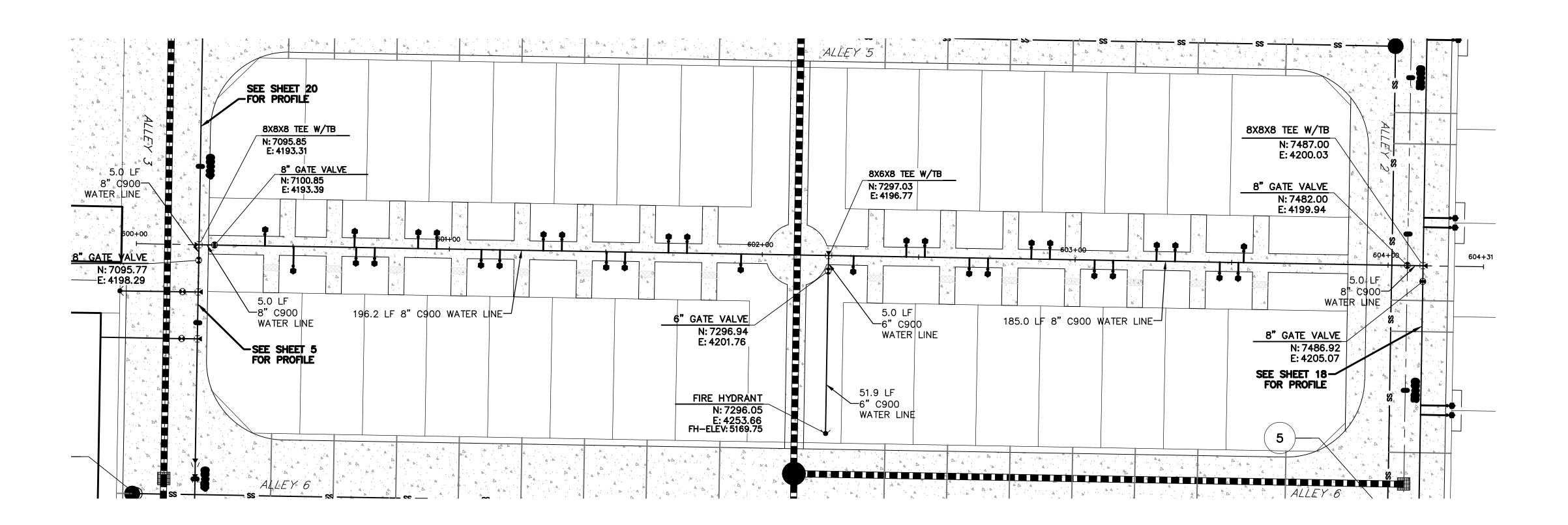
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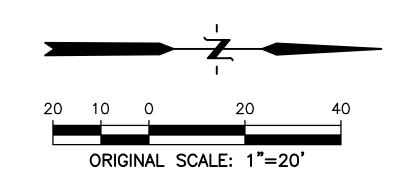
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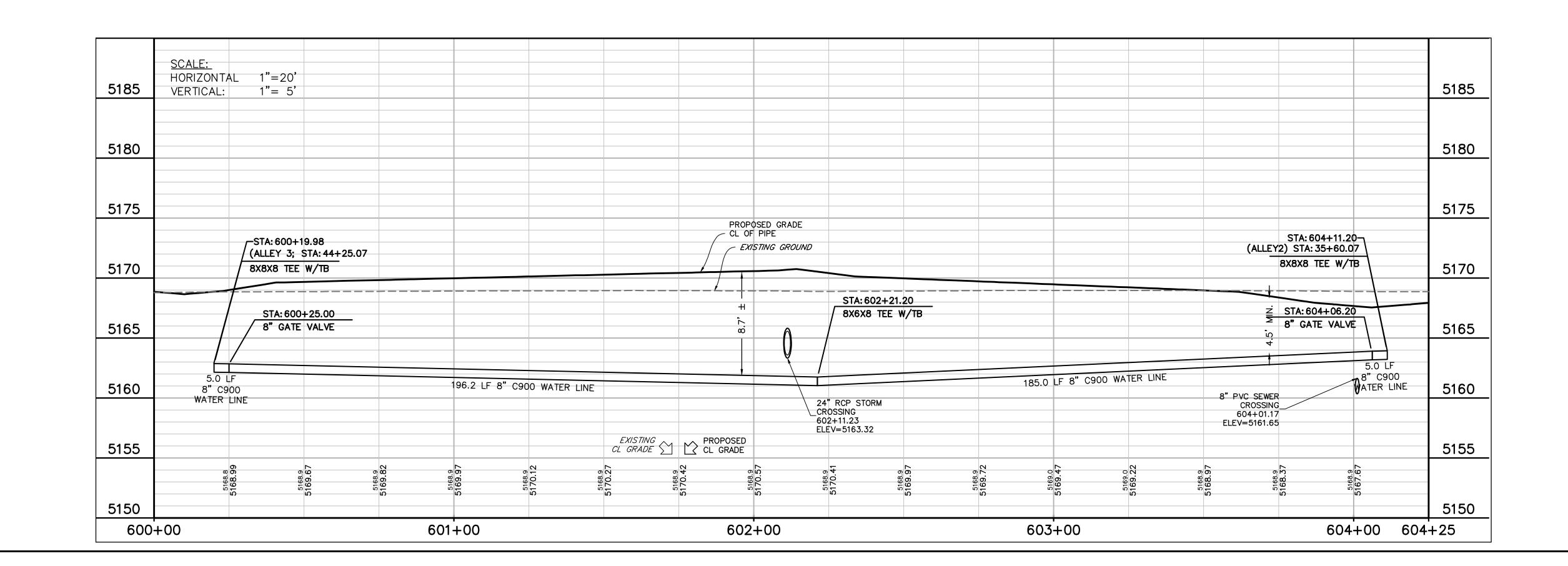
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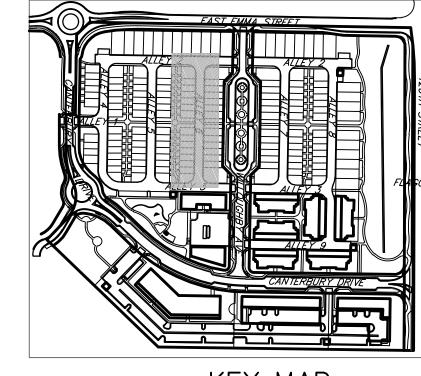
22

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PROPERTY LINE
PROPOSED LOT LINE            PROPOSED ROW
EX. SANITARY SEWER ss — ss — ss — ss — ss — ss — ss
EX. WATER LINE w w
EX. STORM LINE st — st —
EX. GAS LINE
EX. BURIED ELECTRIC LINE E
EX. OVERHEAD ELECTRIC LINE ou
EX. CABLE TV ctv
EX. FIRE HYDRANT
EX. WATER VALVE
EX. WATER METER
EX. MANHOLE
EX. LIGHT POLE
EX. UTILITY POLE
PROPOSED STORM SEWER
PROPOSED SANITARY SEWER
PROPOSED WATER LINE
PROPOSED FIRE HYDRANT
PROPOSED WATER VALVE
PROPOSED WATER METER
PROPOSED MANHOLE
PROPOSED STORM INLET
PROPOSED CONCRETE
PROPOSED ASPHALT
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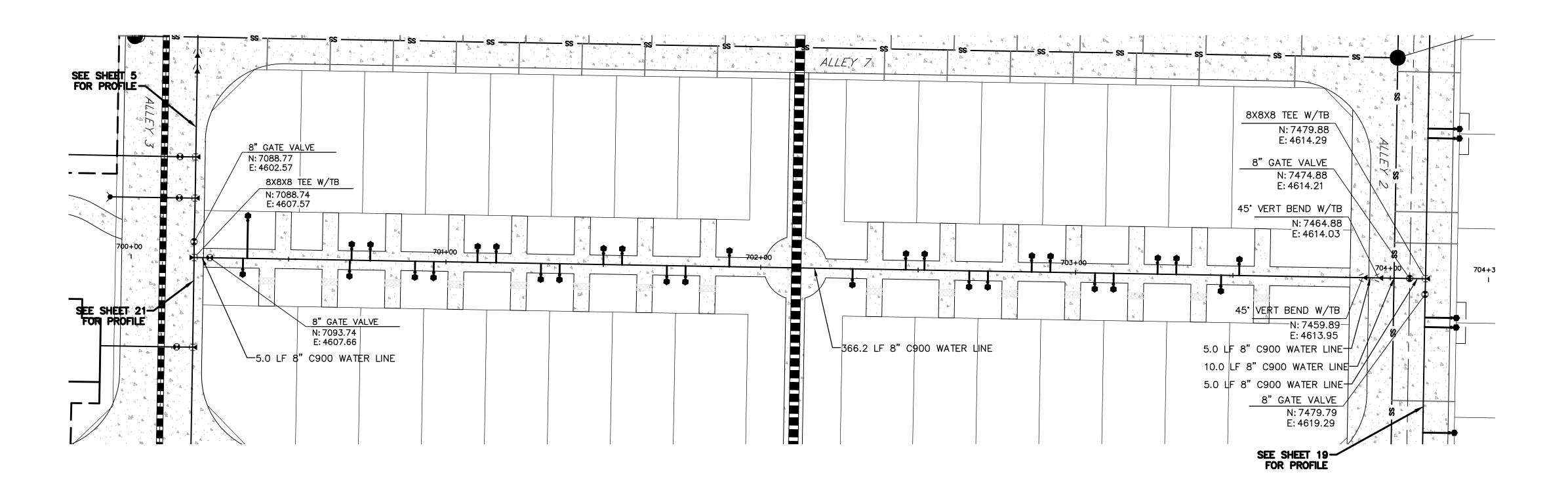
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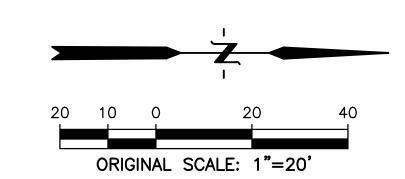
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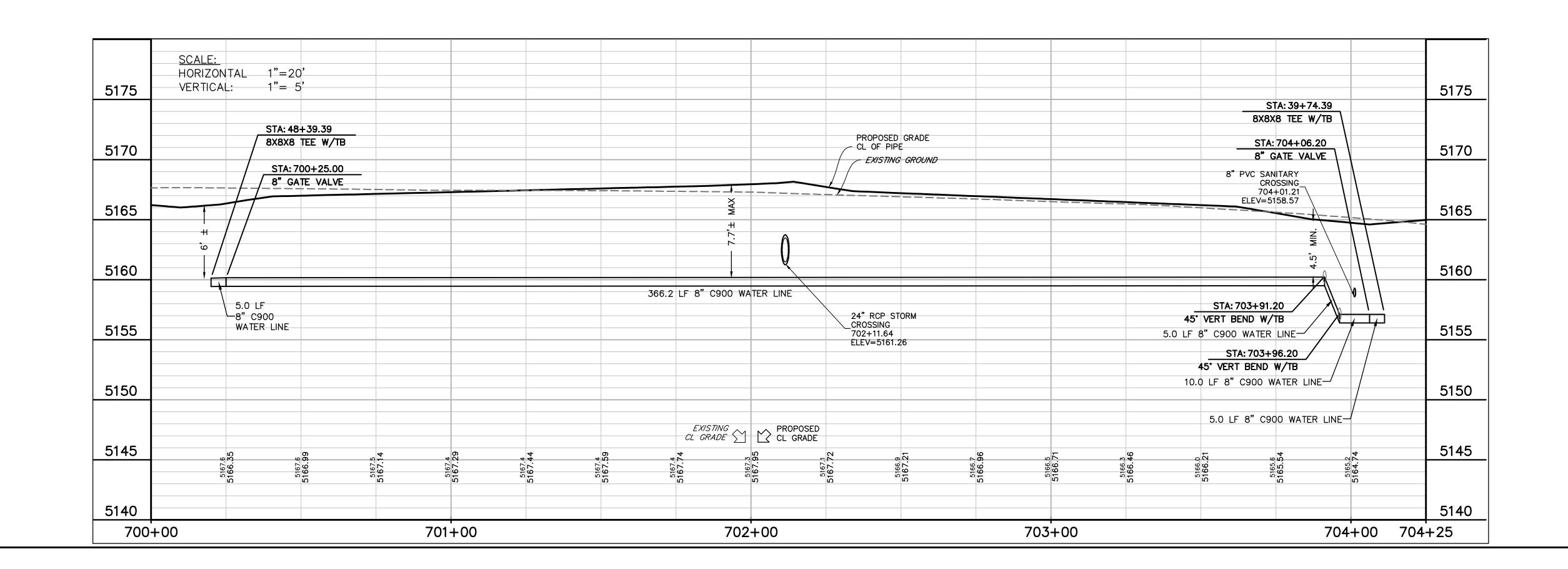
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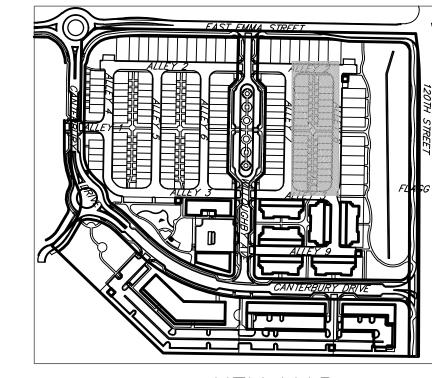
SHEET TITLE: WATER 5

**PROFILE** 













PROPERTY LINE
PROPOSED LOT LINE
EX. SANITARY SEWER ss ——— ss ———
EX. WATER LINE w w
EX. STORM LINE st st
EX. GAS LINE g g
EX. BURIED ELECTRIC LINE E
EX. OVERHEAD ELECTRIC LINE ou
EX. CABLE TV ctv
EX. FIRE HYDRANT &
EX. WATER VALVE⊗
EX. WATER METER
EX. MANHOLE
EX. LIGHT POLE
EX. UTILITY POLE
PROPOSED STORM SEWER
PROPOSED SANITARY SEWER
PROPOSED WATER LINE
PROPOSED FIRE HYDRANT
PROPOSED WATER VALVE
PROPOSED WATER METER
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PROPOSED CONCRETE
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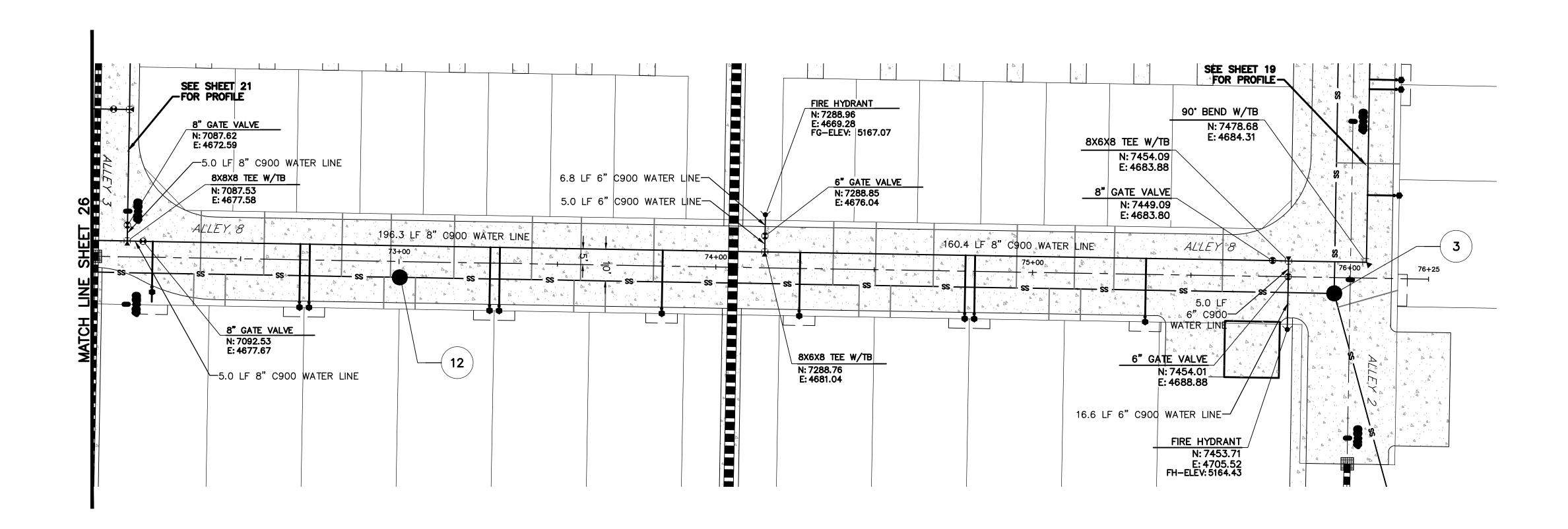
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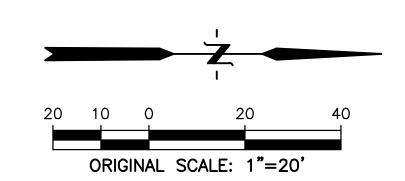
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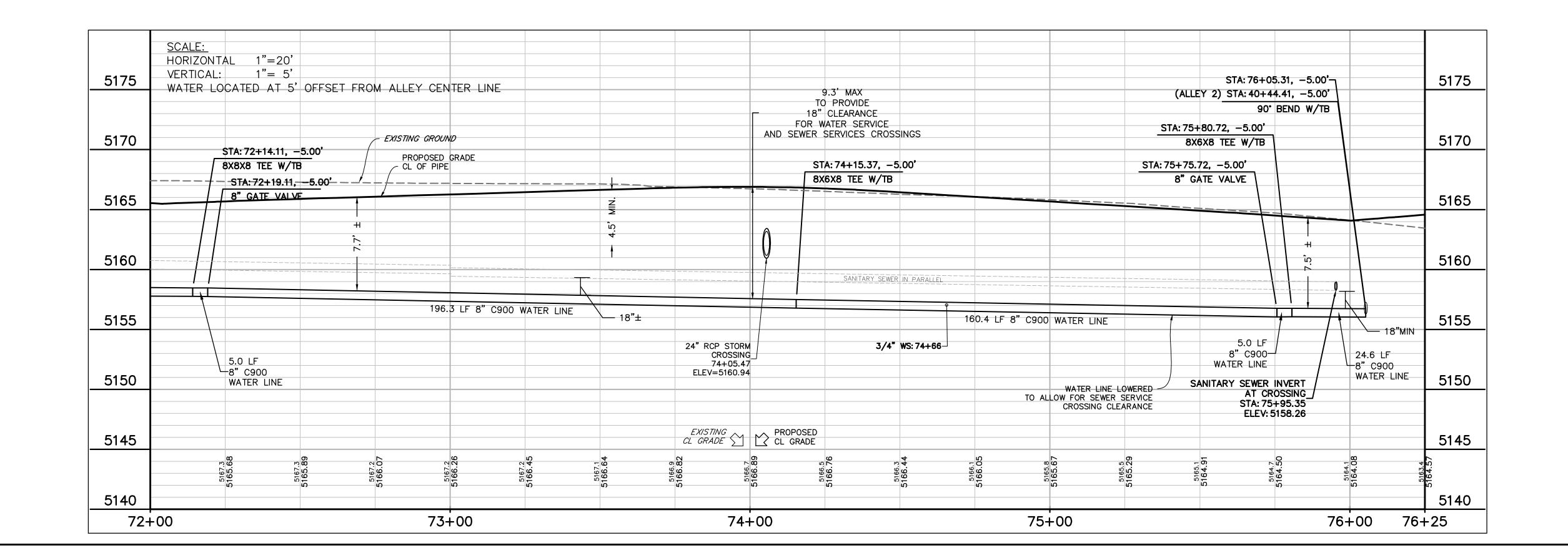
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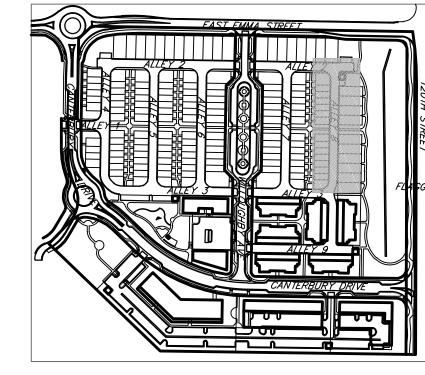
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PROPERTY LINE ..

PROPOSED LOT LINE PROPOSED ROW
EX. SANITARY SEWER ss
EX. WATER LINE w w
EX. STORM LINE st st
EX. GAS LINE
EX. BURIED ELECTRIC LINE E
EX. OVERHEAD ELECTRIC LINE ou
EX. CABLE TV ctv
EX. FIRE HYDRANT
EX. WATER VALVE
EX. WATER METER
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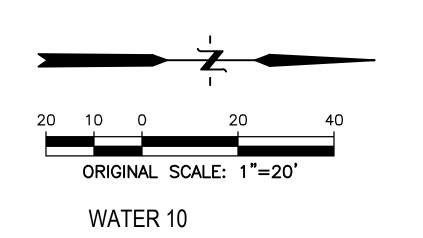
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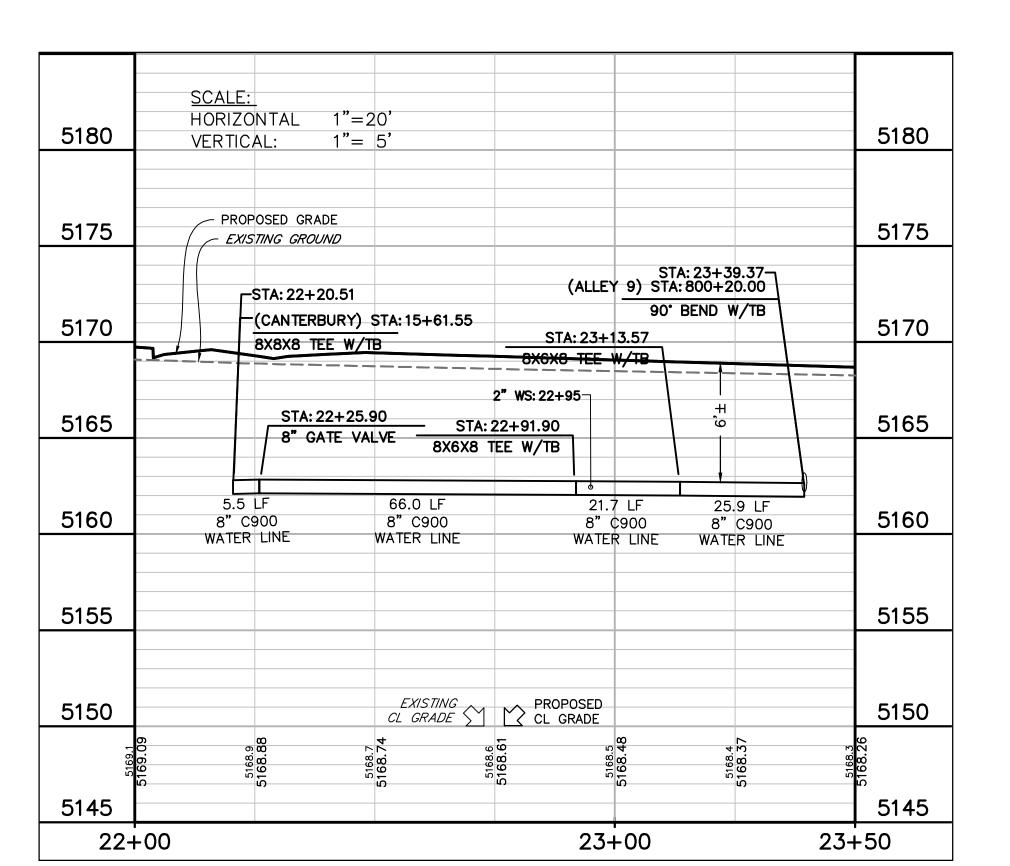
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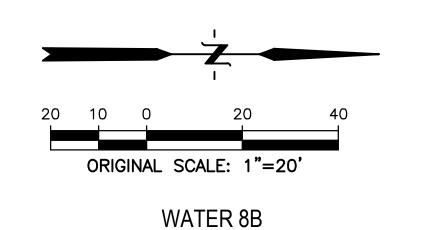
SHEET TITLE: WATER 8A PROFILE

25

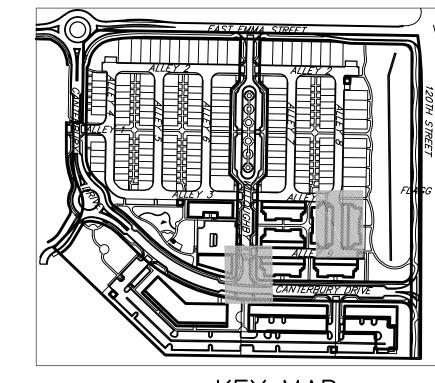
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5175	SCALE: HORIZONTAL 1"=20' VERTICAL: 1"= 5'		5175
5170		EXISTING GROUND	5170
5165		PROPOSED GRADE CL OF PIPE  2" WS: 71+91	5165
5160	STA: 70+34.77, -5.00, \( \frac{2}{\Sigma} \) 90° BEND W/TB \( \frac{4}{\Sigma} \)	STA: 71+81.49, -5.00' 8X6X8 TEE W/TB	5160
5155	146.7 LF 8" C900	WATER LINE  18"MIN  32.6 8" C WATER	LF 900
5150			5150
5145	EXISTING CL GRADE CL C	POSED GRADE	5145
5140	5167.3 5167.3 5167.3 5167.3 5167.3 5167.3	5167.3 5166.16 5167.4 5165.96 5167.4	5140







PROPERTY LINE ..

PROPOSED LOT LINE.

PROPOSED ROW
EX. SANITARY SEWER ss
EX. WATER LINE w
EX. STORM LINE stst
EX. GAS LINE
EX. BURIED ELECTRIC LINE E
EX. OVERHEAD ELECTRIC LINE OU
EX. CABLE TV ctv
EX. FIRE HYDRANT
EX. WATER VALVE
EX. WATER METER
EX. MANHOLE
EX. LIGHT POLE
EX. UTILITY POLE
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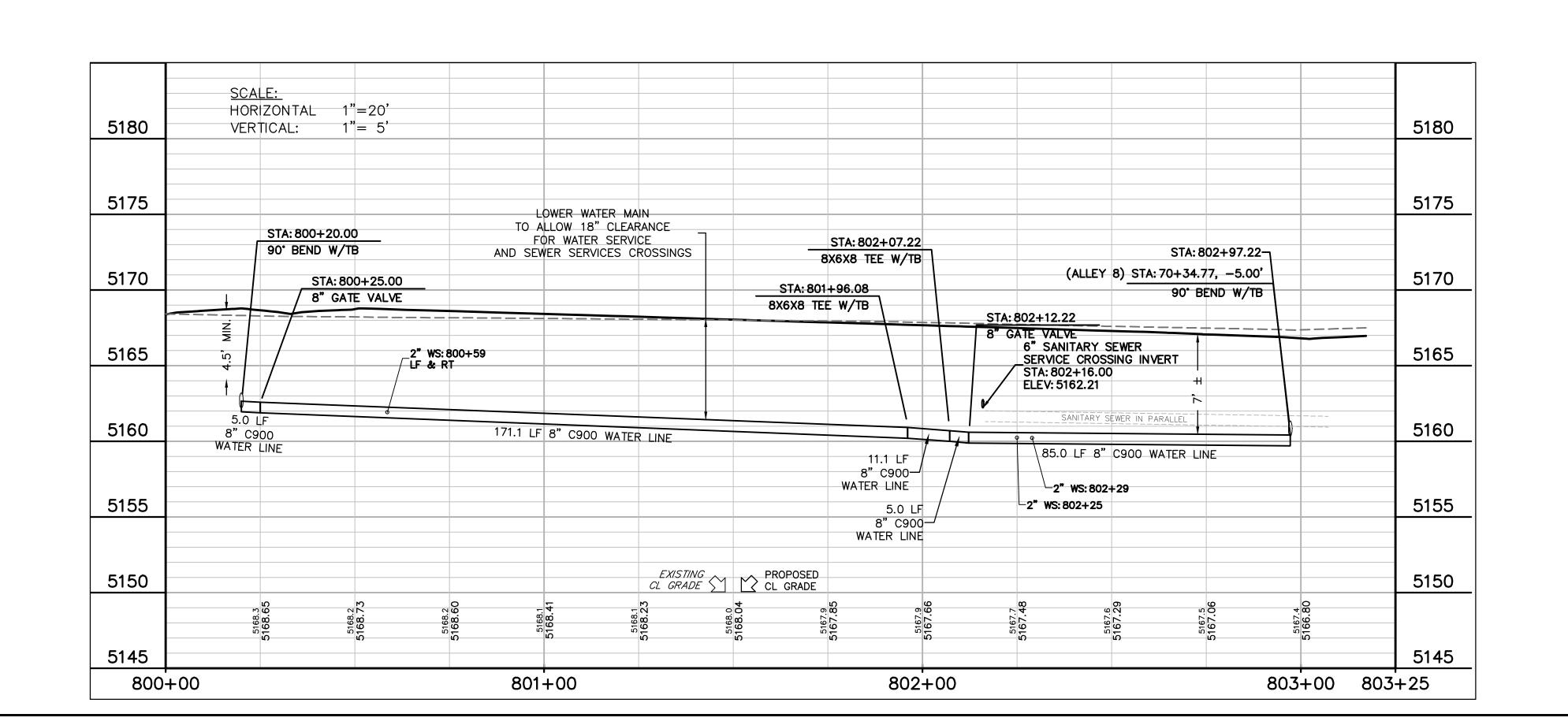
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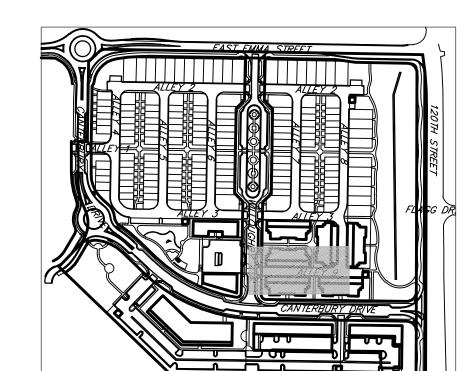
DATE: 03/27/2020 PRE PLAN

SHEET TITLE:

WATER 8B & 10 PROFILE

ORIGINAL SCALE: 1"=20'









#### <u>LEGEND</u>

PROPERTY LINE
PROPOSED LOT LINE
PROPOSED ROW
EX. SANITARY SEWER ss
EX. WATER LINE w w
EX. STORM LINE st st
<i>EX. GAS LINE</i> <sub>G</sub>
EX. BURIED ELECTRIC LINE E
EX. OVERHEAD ELECTRIC LINE ou
EX. CABLE TV ctv
EX. FIRE HYDRANT
EX. WATER VALVE
EX. WATER METER
EX. MANHOLE
EX. LIGHT POLE
EX. UTILITY POLE
PROPOSED STORM SEWER
PROPOSED SANITARY SEWER
PROPOSED WATER LINE
PROPOSED FIRE HYDRANT
PROPOSED WATER VALVE
PROPOSED WATER METER
PROPOSED MANHOLE
PROPOSED STORM INLET
PROPOSED CONCRETE
PROPOSED ASPHALT
NOTE: W/TB = WITH TRUST BLOCK

APPROVED:

CITY ENGINEER

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OWNER:
BOULDER COUNTY
HOUSING AUTHORITY
2525 13th ST, SUITE 204

BOULDER, CO 80302 303-441-1000



BOULDER, COLORADO 80301 CONTACT: CAMERON KNAPP, P.E. (303) 442-4338

NOT FOR CONSTRUCTION

DATE:

03/27/2020 PRE PLAN

SHEET TITLE:

WATER 9 PROFILE

OWNER: **BOULDER COUNTY** HOUSING AUTHORITY 2525 13th ST, SUITE 204

BOULDER, CO 80302

303-441-1000



CONTACT: CAMERON KNAPP, P.E. (303) 442-4338 NOT FOR

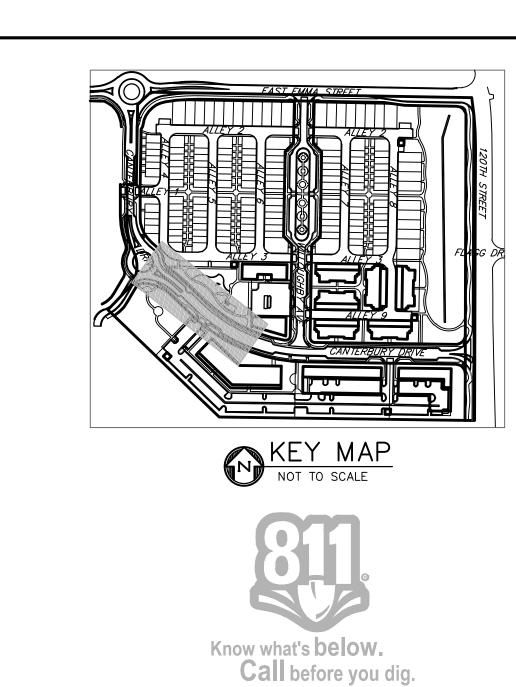
CONSTRUCTION

BOULDER, COLORADO 80301

DATE: 03/27/2020 PRE PLAN

SHEET TITLE: WATER 11A **PROFILE** 

CITY ENGINEER REVIEW IS FOR GENERAL CONFORMANCE WITH THE CITY OF LAFAYETTE "STANDARDS AND SPECIFICATIONS." LATEST EDITION. SOLE RESPONSIBILITY FOR COMPLETENESS AND/OR ACCURACY OF THESE DOCUMENTS SHALL REMAIN WITH THE REGISTERED PROFESSIONAL ENGINEER SEALING THESE PLANS. THE CITY DOES NOT ACCEPT LIABILITY FOR FACILITIES DESIGNED BY OTHERS.



EX. SANIJARY SEWER.

EX. BURIED ELECTRIC LINE

EX. OVERHEAD ELECTRIC LINE..... \_\_\_\_ ou \_\_\_\_

EX. WATER LINE

EX. STORM LINE

EX. CABLE TV ....

EX. FIRE HYDRANT..

EX. WATER VALVE ...

EX. WATER METER.

EX. MANHOLE.

EX. LIGHT POLE

EX. UTILITY POLE ..

PROPOSED STORM SEWER.

PROPOSED WATER LINE

PROPOSED FIRE HYDRANT

PROPOSED WATER VALVE

PROPOSED WATER METER

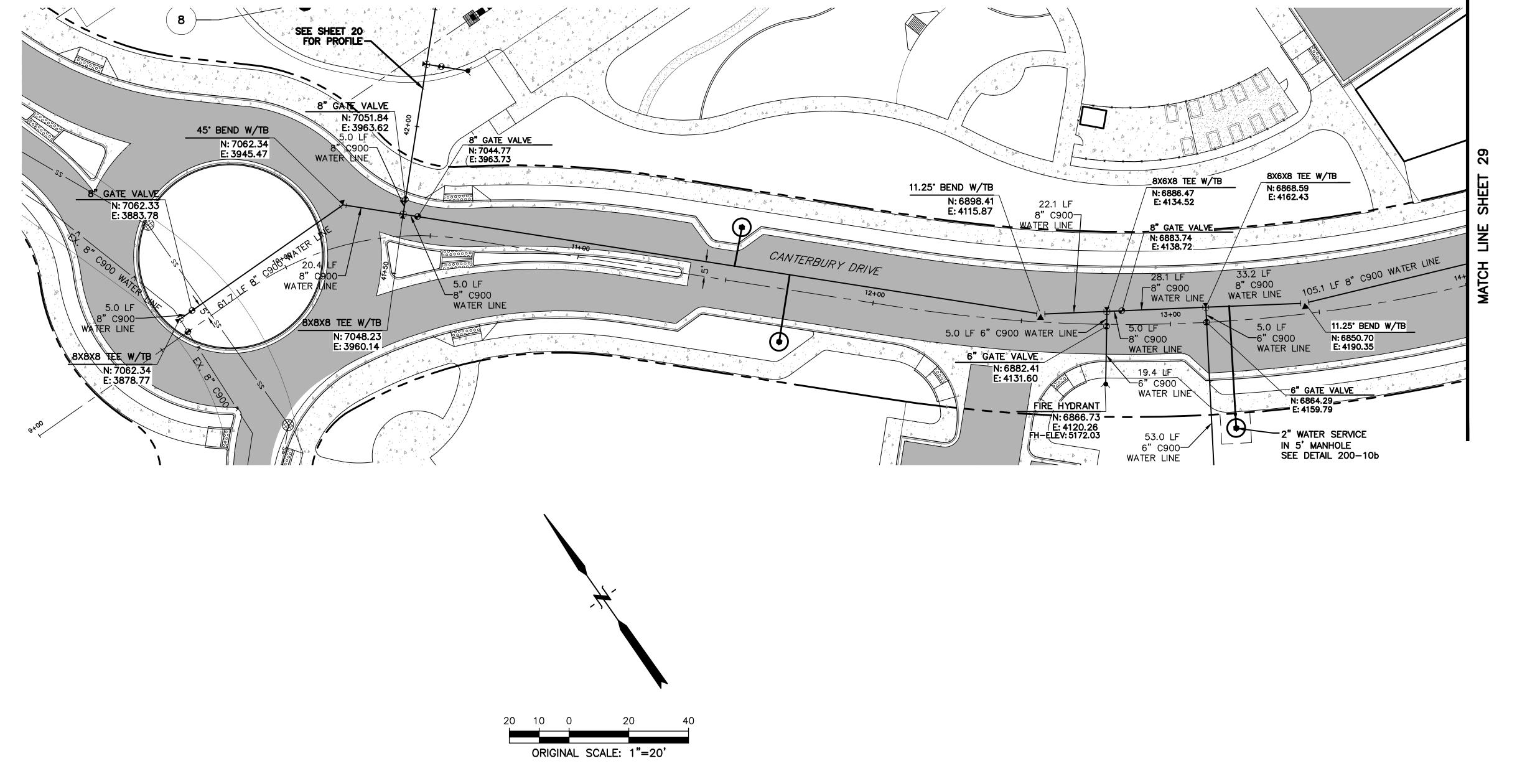
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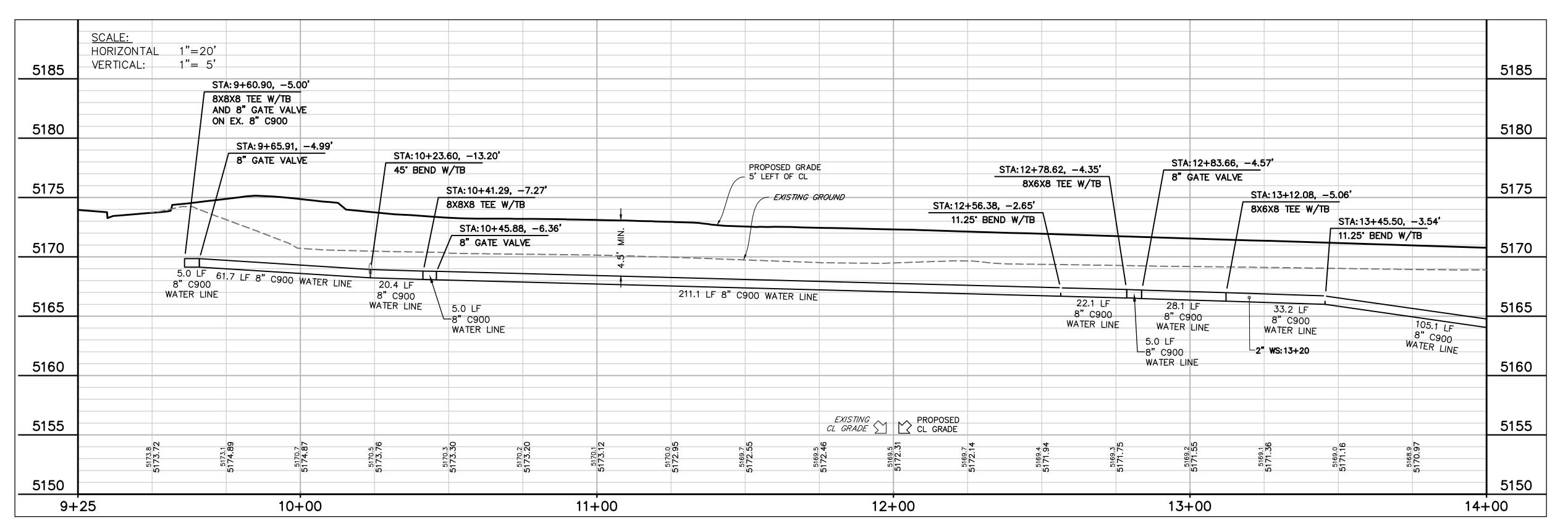
PROPOSED MANHOLE

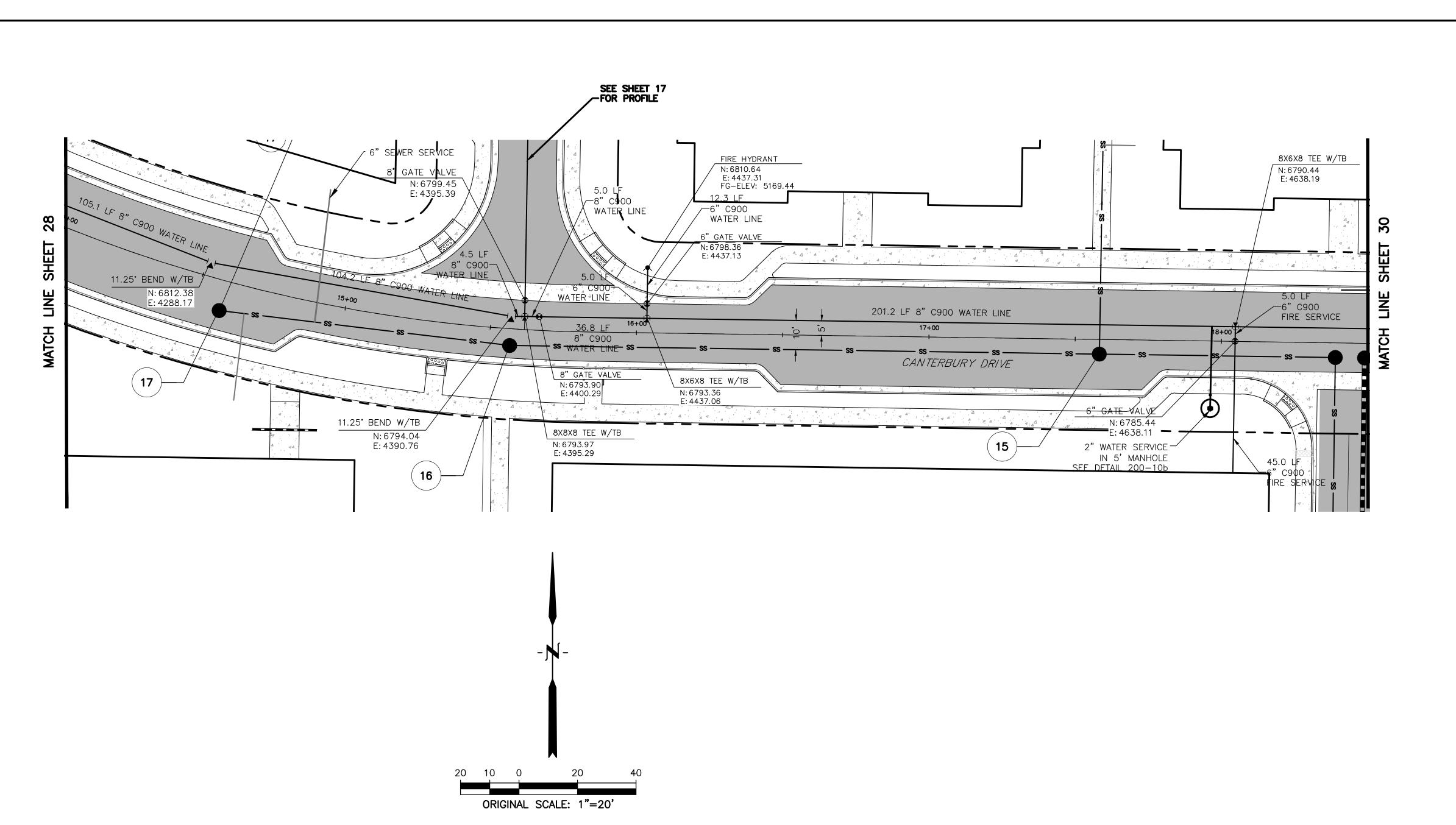
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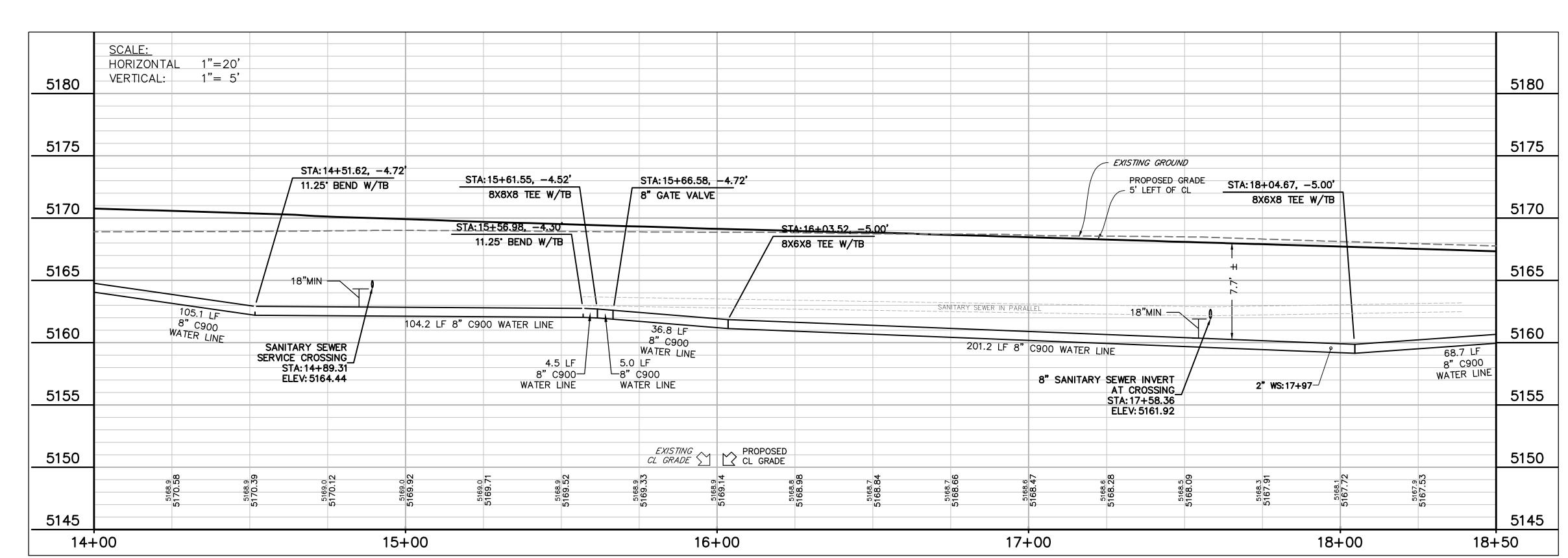
PROPOSED SANITARY SEWER

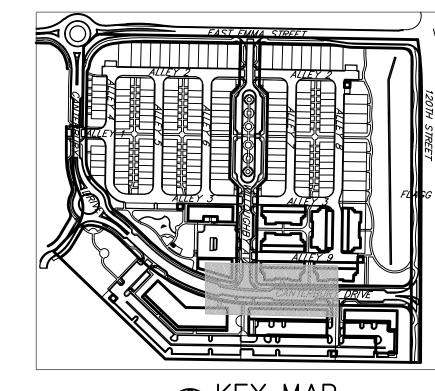
EX. GAS LINE.















PROPERTY LINE
PROPOSED LOT LINE
EX. SANITARY SEWER ss
EX. WATER LINE w w
EX. STORM LINE st
EX. GAS LINE
EX. BURIED ELECTRIC LINE E
EX. OVERHEAD ELECTRIC LINE ou
EX. CABLE TV ctv
EX. FIRE HYDRANT
EX. WATER VALVE
EX. WATER METER
EX. MANHOLE
EX. LIGHT POLE
EX. UTILITY POLE
PROPOSED STORM SEWER
PROPOSED SANITARY SEWER
PROPOSED WATER LINE
PROPOSED FIRE HYDRANT
PROPOSED WATER VALVE
PROPOSED WATER METER
PROPOSED MANHOLE
PROPOSED STORM INLET
PROPOSED CONCRETE
PROPOSED ASPHALT

APPI	ROVE
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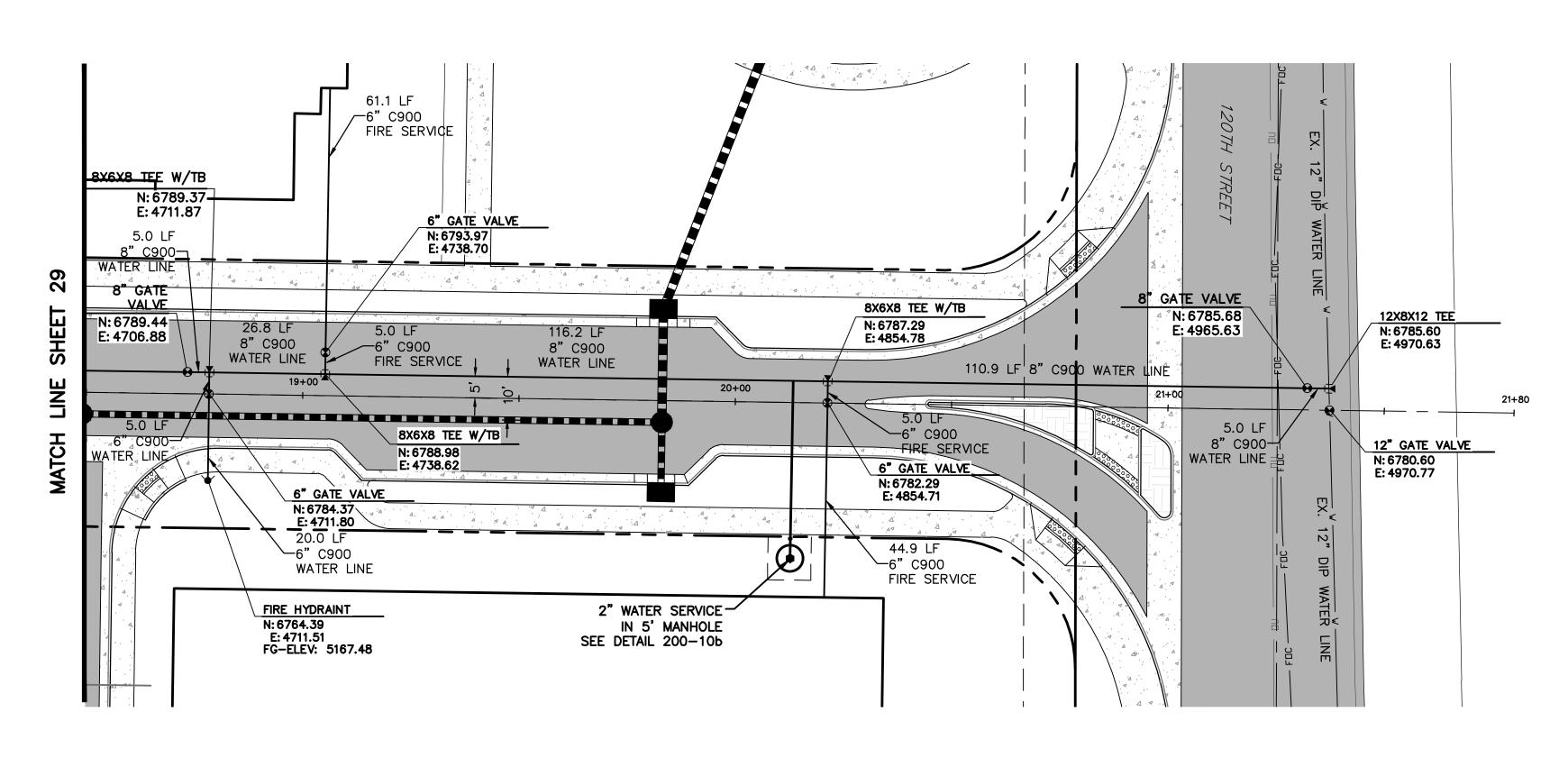
DATE: 03/27/2020 PRE PLAN

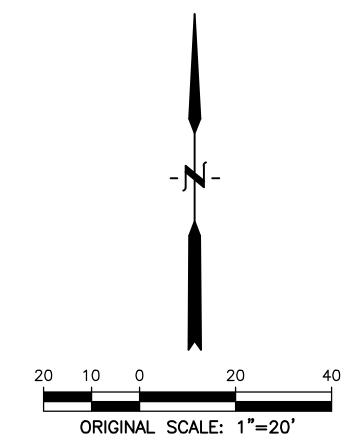
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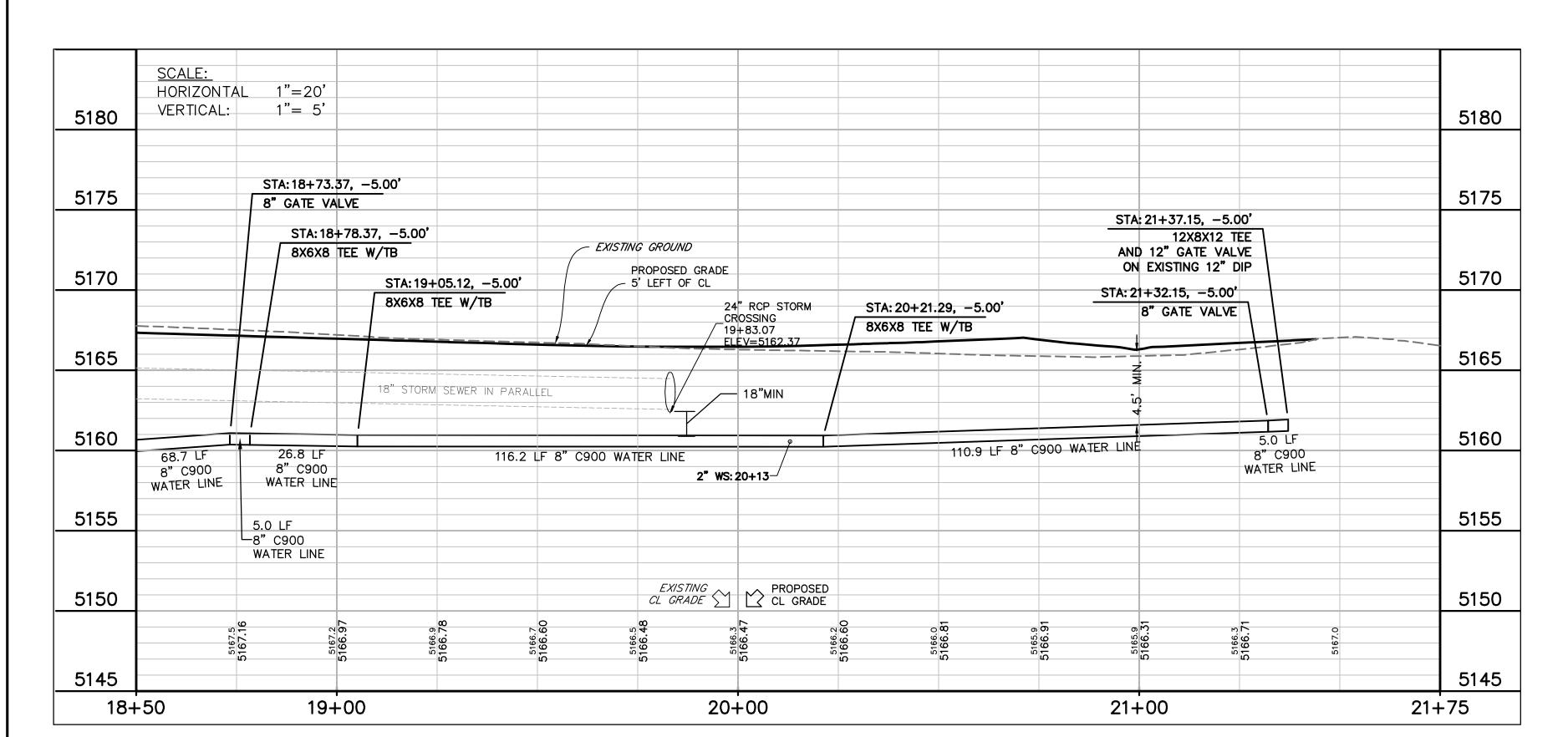
SHEET TITLE: WATER 11B PROFILE

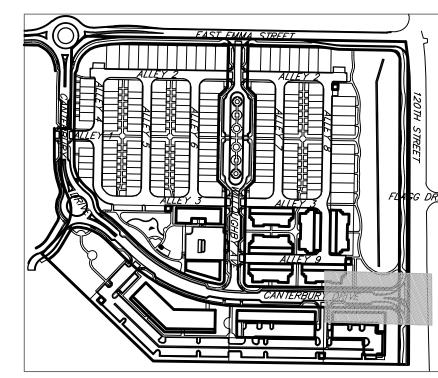
29

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PROPERTY LINE
PROPOSED LOT LINE            PROPOSED ROW
EX. SANITARY SEWER ss
EX. WATER LINE w w
EX. STORM LINE st st
EX. GAS LINE
EX. BURIED ELECTRIC LINE E
EX. OVERHEAD ELECTRIC LINE ou
EX. CABLE TV ctv
EX. FIRE HYDRANT
EX. WATER VALVE⊗
EX. WATER METER
EX. MANHOLE
EX. LIGHT POLE
EX. UTILITY POLE
PROPOSED STORM SEWER
PROPOSED SANITARY SEWER
PROPOSED WATER LINE
PROPOSED FIRE HYDRANT
PROPOSED WATER VALVE
PROPOSED WATER METER
PROPOSED MANHOLE
PROPOSED STORM INLET
PROPOSED CONCRETE
PROPOSED ASPHALT
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> DATE: 8/27/2020 PRE\_PLA

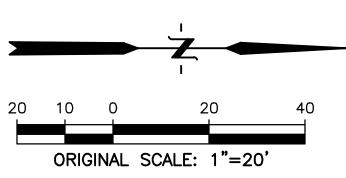
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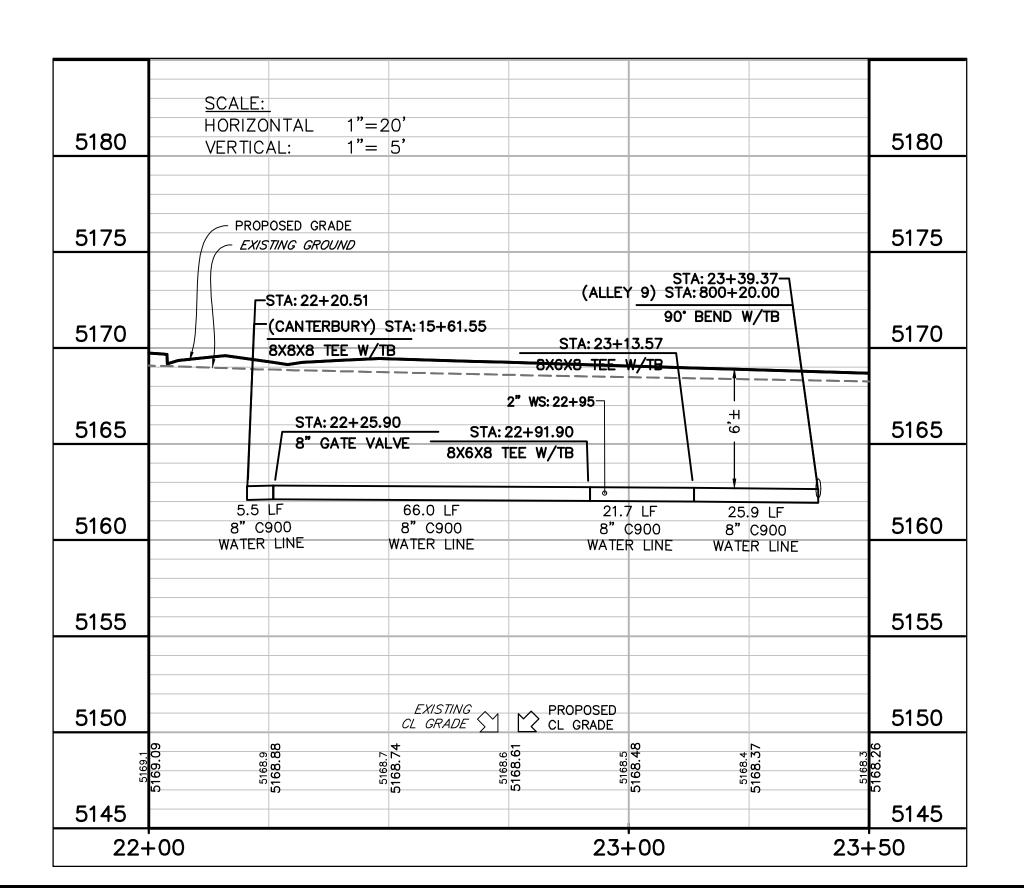
WATER 11C PROFILE

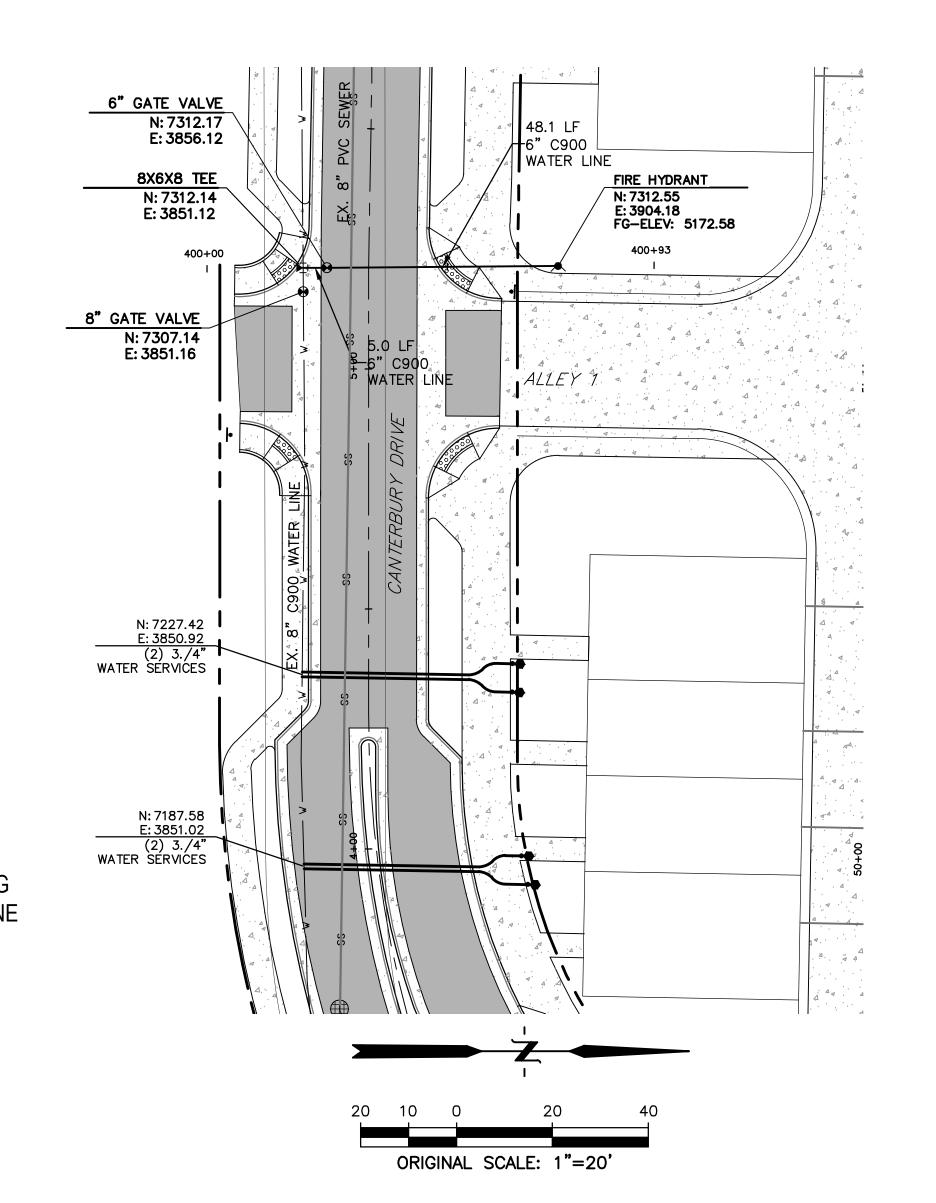
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VIEWS EXPANDED TO SHOW WATER SERVICES CONNECTING TO EXISTING 8" C900 WATER LINE

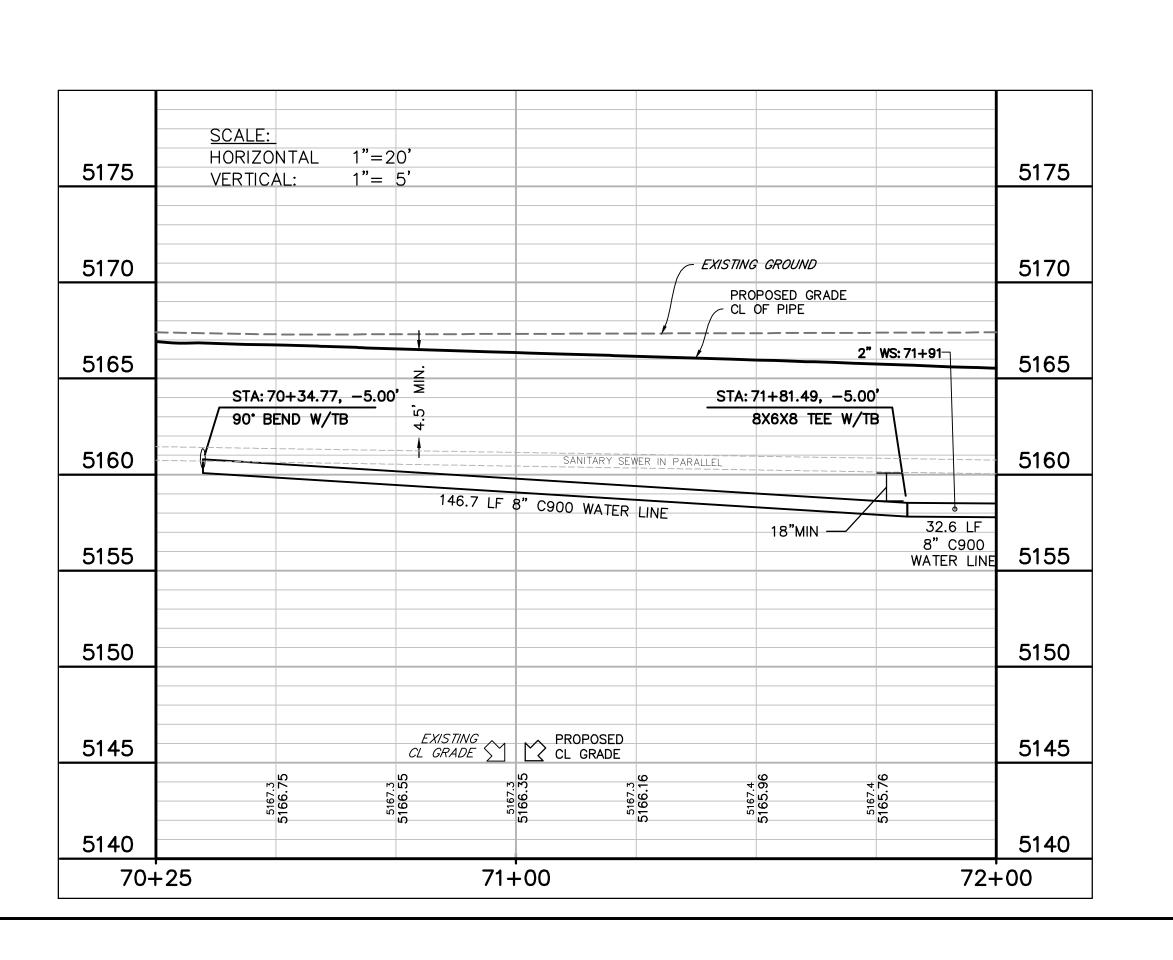


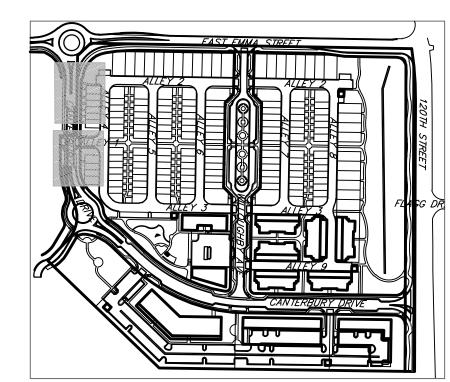
WATER FH2





WATER FH4









#### <u>LEGEND</u>

PROPERTY LINE
PROPOSED LOT LINE            PROPOSED ROW
EX. SANITARY SEWER ss ——————————————————————————————
EX. WATER LINE w w
EX. STORM LINE st st
EX. GAS LINE G
EX. BURIED ELECTRIC LINE E
EX. OVERHEAD ELECTRIC LINE ou
EX. CABLE TV ctv
EX. FIRE HYDRANT
EX. WATER VALVE
EX. WATER METER
EX. MANHOLE
EX. LIGHT POLE
EX. UTILITY POLE
PROPOSED STORM SEWER
PROPOSED SANITARY SEWER
PROPOSED WATER LINE
PROPOSED FIRE HYDRANT
PROPOSED WATER VALVE
PROPOSED WATER METER
PROPOSED MANHOLE
PROPOSED STORM INLET
PROPOSED CONCRETE
PROPOSED ASPHALT

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DATE: 7/2020 PRE PLAN

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SHEET TITLE:
WATER FH2 & FH4
PROFILE

KEY MAP

NOT TO SCALE

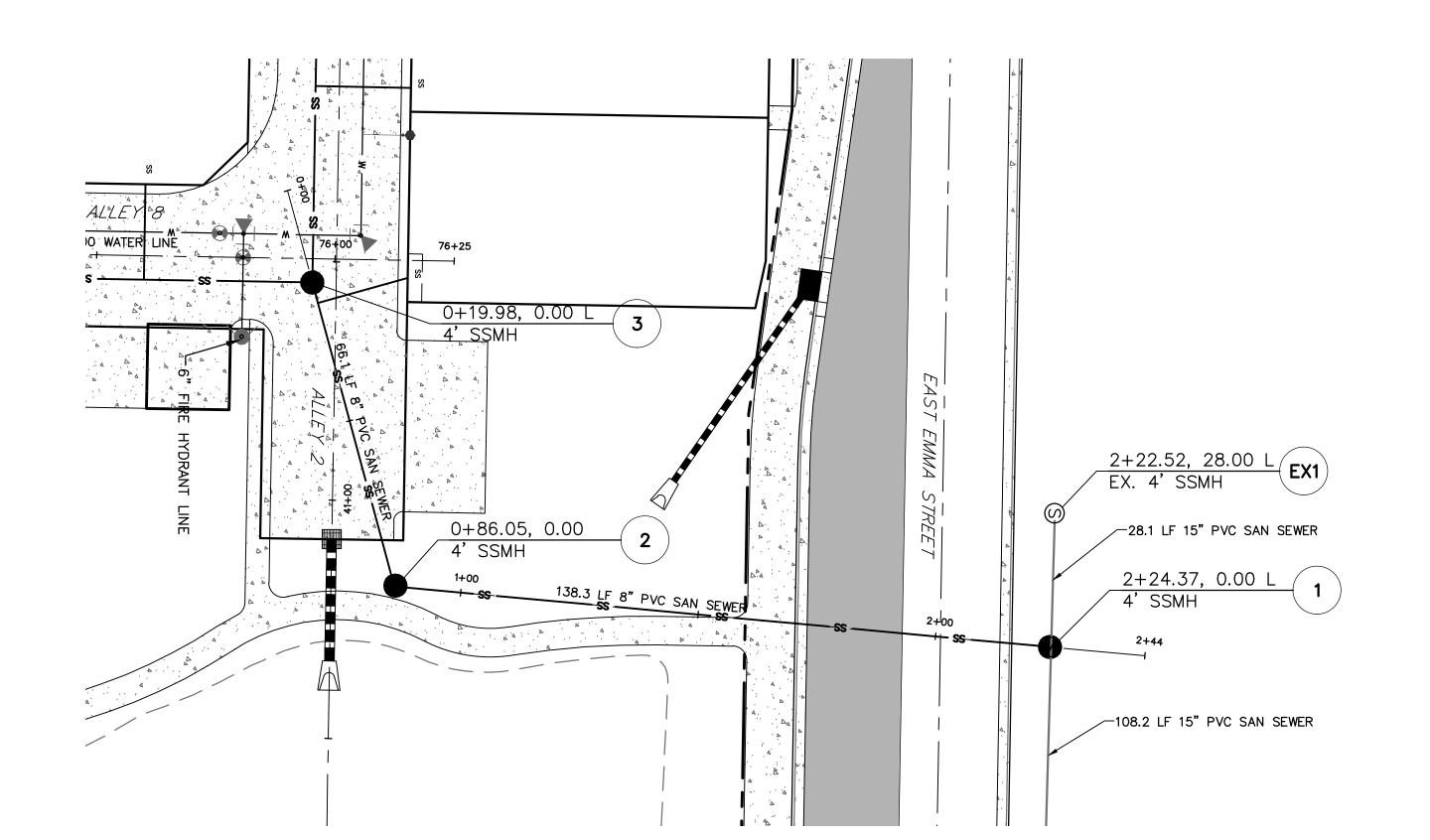


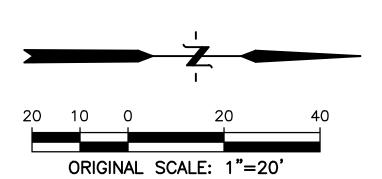
#### <u>LEGEND</u>

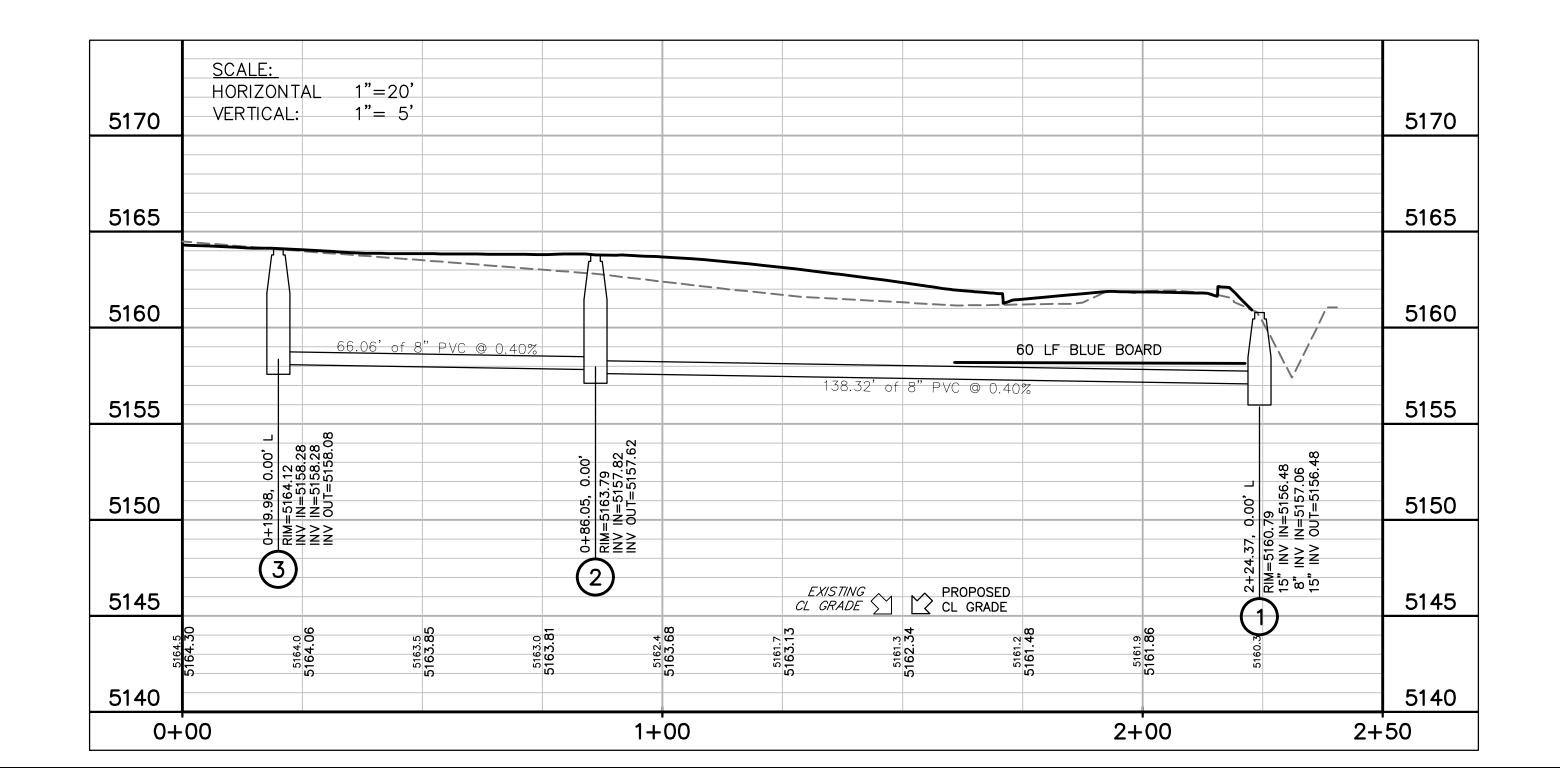
PROPERTY LINE	$\supset$
PROPOSED LOT LINE	$O _{\vdash \circ}$
PROPOSED ROW	
EX. SANITARY SEWER ss	
EX. WATER LINE w w	12 Z
EX. STORM LINE st — st — st —	<b>&gt;</b> lo ≤
EX. GAS LINE	
EX. BURIED ELECTRIC LINE E	OWNER:
EX. OVERHEAD ELECTRIC LINE ou	BOULDER COUNTY HOUSING AUTHORITY
EX. CABLE TV ctv	2525 13th ST, SUITE 204
EX. FIRE HYDRANT	BOULDER, CO 80302 303-441-1000
EX. WATER VALVE	
EX. WATER METER	
EX. MANHOLE	
EX. LIGHT POLE	DREXEL, BARRELL & CO.
EX. UTILITY POLE	Engineers • Surveyors 1800 38th STREET BOULDER, COLORADO 80301
PROPOSED STORM SEWER	CONTACT: CAMERON KNAPP, P.E. (303) 442-4338
PROPOSED SANITARY SEWER	
PROPOSED WATER LINE w	NOT FOR CONSTRUCTION
PROPOSED FIRE HYDRANT	CONSTRUCTION
PROPOSED WATER VALVE	
PROPOSED METER	
PROPOSED MANHOLE	- DATE
DRODOSED STORM INLET	DATE: 03/27/2020 PRE PLAN
PROPOSED STORM INLET	PD-VET
PROPOSED CONCRETE	UKAFI
PROPOSED ASPHALT	

APPROVED: CITY ENGINEER

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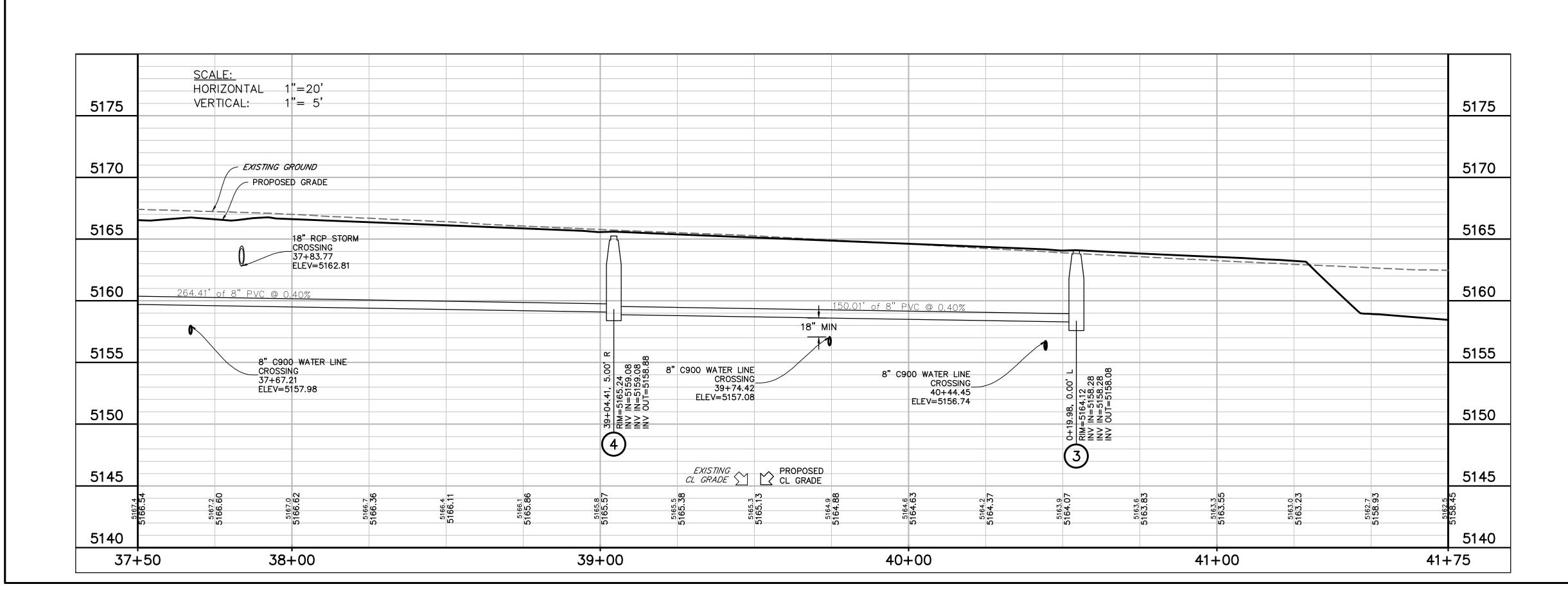




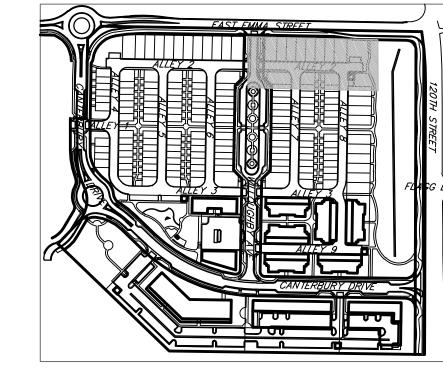
SHEET TITLE:

SANITARY SEWER

PROFILE 1-3



ORIGINAL SCALE: 1"=20'







#### <u>LEGEND</u>

PROPERTY LINE
PROPOSED LOT LINE            PROPOSED ROW
EX. SANITARY SEWER ss — ss — ss — ss — ss — ss — ss
EX. WATER LINE w w
EX. STORM LINE st st
EX. GAS LINE G
EX. BURIED ELECTRIC LINE E
EX. OVERHEAD ELECTRIC LINE ou
EX. CABLE TV ctv
EX. FIRE HYDRANT
EX. WATER VALVE⊗
EX. WATER METER
EX. MANHOLE
EX. LIGHT POLE
EX. UTILITY POLE
PROPOSED STORM SEWER
PROPOSED SANITARY SEWER
PROPOSED WATER LINE w
PROPOSED FIRE HYDRANT
PROPOSED WATER VALVE
PROPOSED METER
PROPOSED MANHOLE
PROPOSED STORM INLET
PROPOSED CONCRETE
PROPOSED ASPHALT

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DATE: 03/27/2020 PRE PLAN

URAF I

SHEET TITLE:
SANITARY SEWER
PROFILE 2-4

33

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OWNER:

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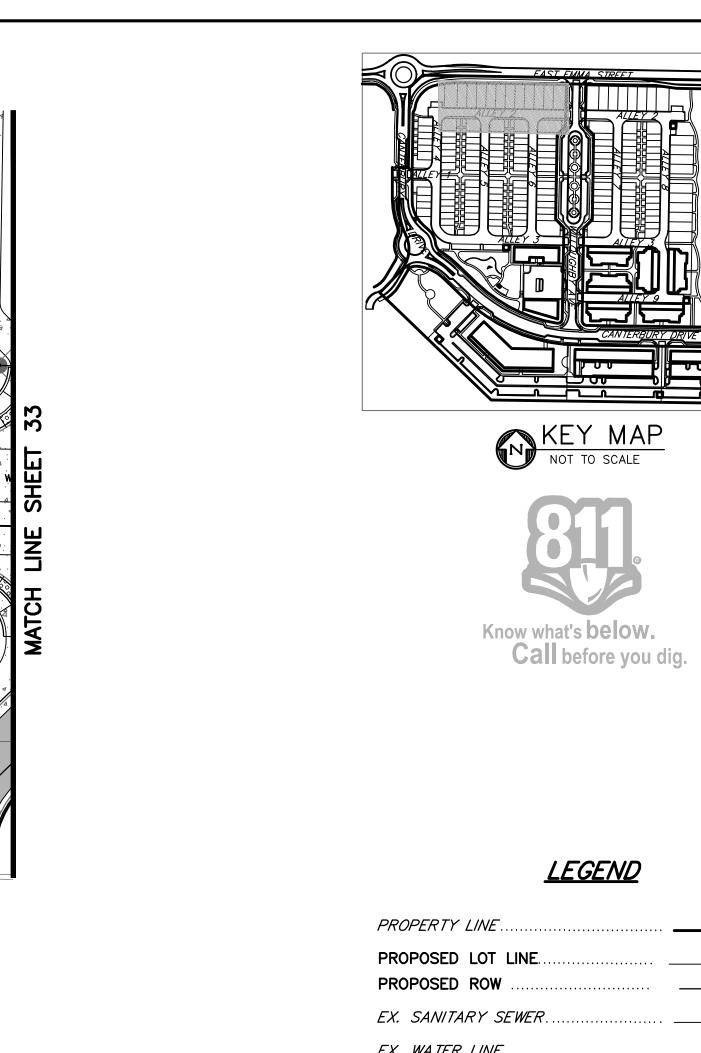
CONTACT: CAMERON KNAPP, P.E.

CONSTRUCTION

DATE:

03/27/2020 PRE PLAN

SHEET TITLE: SANITARY SEWER PROFILE 4-7



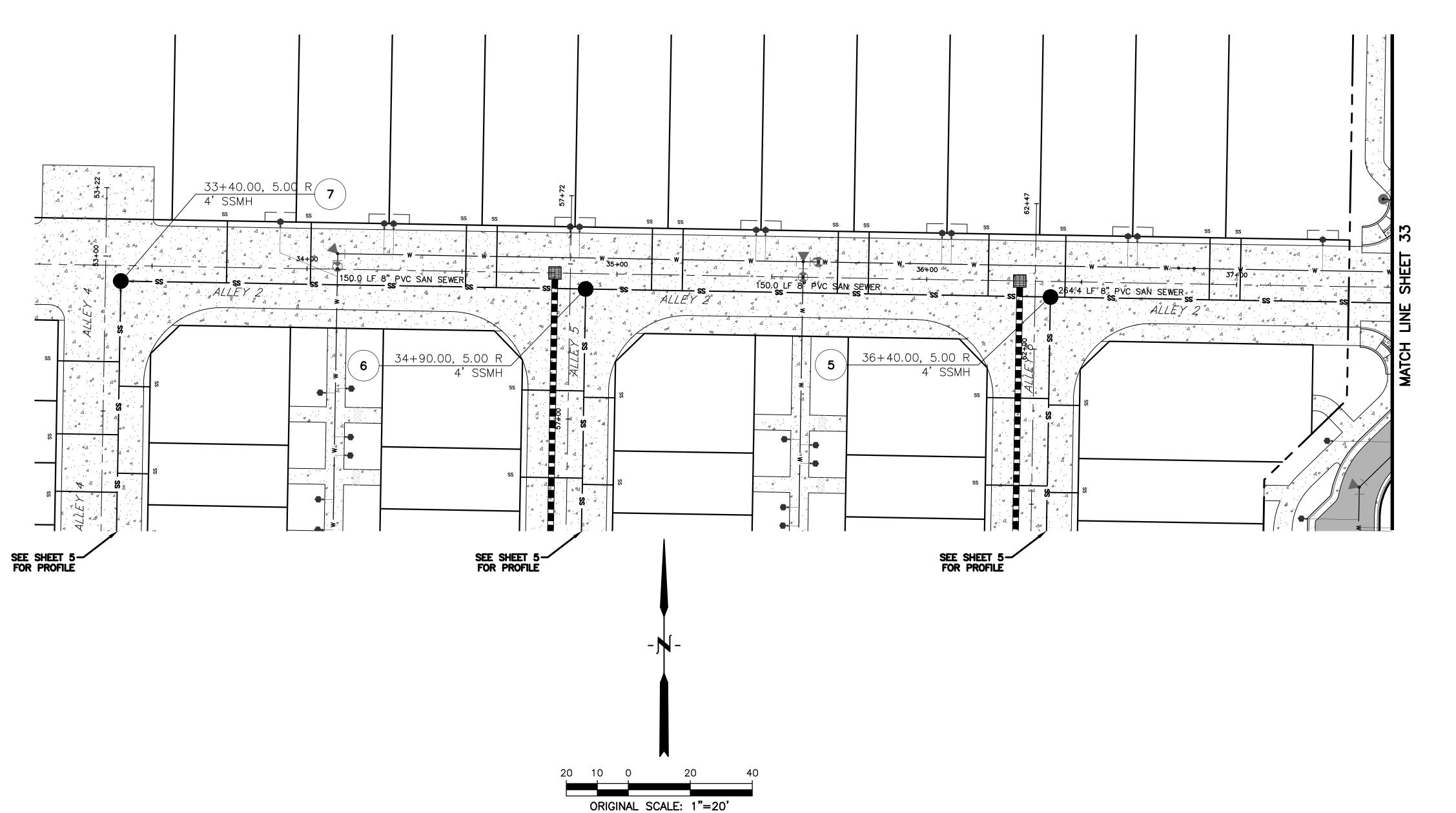
#### <u>LEGEND</u>

PROPERTY	LINE
	LOT LINE
EX. SANITA	ARY SEWERss
EX. WATER	? <i>LINE</i> w w
EX. STORM	<i>LINE</i> st
EX. GAS L	<i>INE</i>
EX. BURIEL	D ELECTRIC LINE E
EX. OVERH	YEAD ELECTRIC LINE ou
EX. CABLE	<i>TV</i> ctv ctv
EX. FIRE H	YDRANT 🗑
EX. WATER	° VAL VE ⊗
EX. WATER	METER
EX. MANHO	OLE
EX. LIGHT	<i>POLE</i> 🌣
EX. UTILIT	Y POLE
PROPOSED	STORM SEWER
PROPOSED	SANITARY SEWER
PROPOSED	WATER LINE w
PROPOSED	FIRE HYDRANT
PROPOSED	WATER VALVE ⊕
PROPOSED	METER
PROPOSED	MANHOLE
PROPOSED	STORM INLET
PROPOSED	CONCRETE

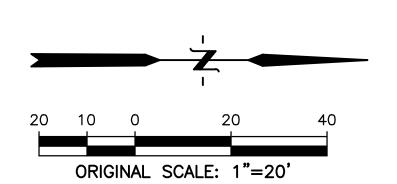
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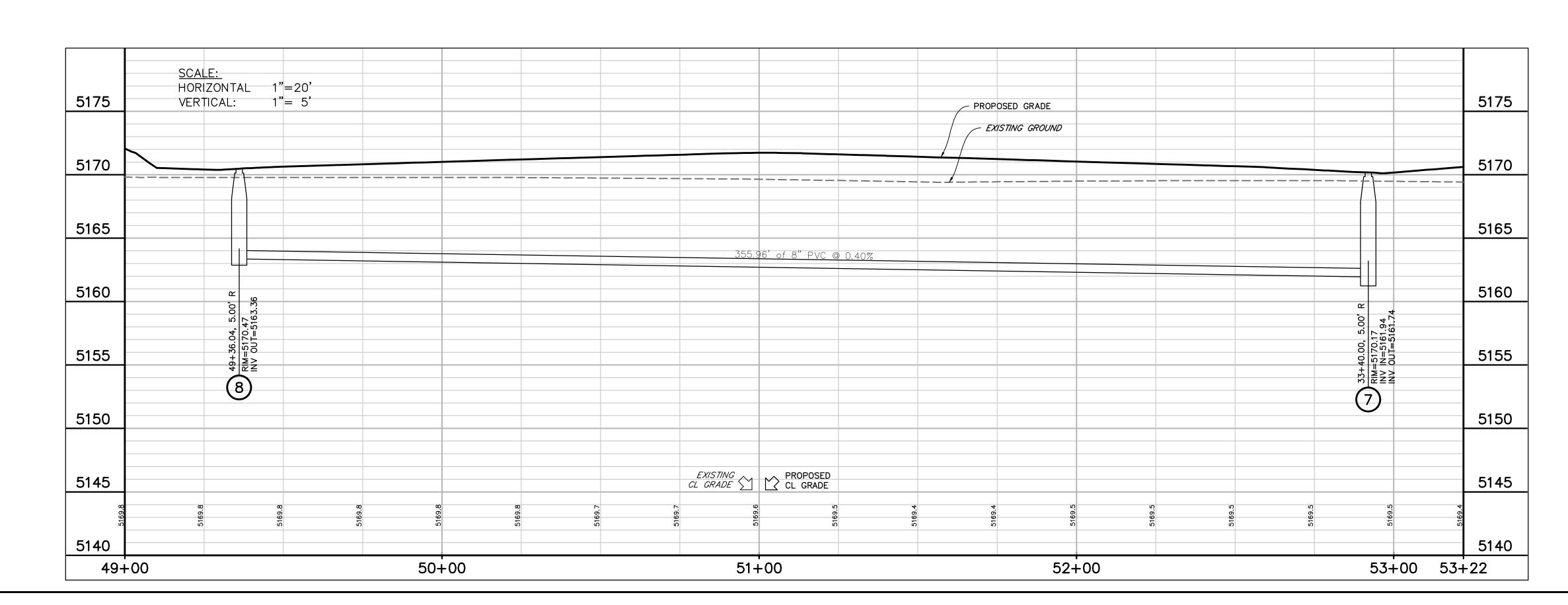
CITY ENGINEER

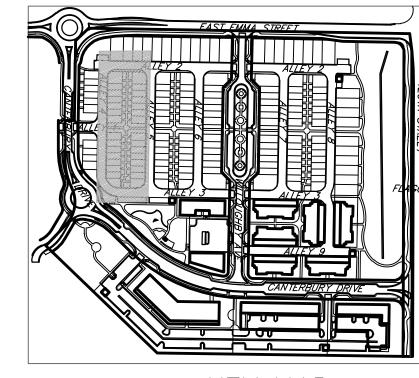
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5175	SCALE: HORIZONTAL 1"=20" VERTICAL: 1"= 5"						5175
5170		PROPOSED GRADE  EXISTING GROUND	18" RCP_STORM CROSSING_ 34+80.09 ELEV=5164.84	18" RCP STOF CROSSIF 36+27 ELEV=5164.	NG		5170
5165		8" C900 WATEI CROSSING 34+09.85 ELEV=5164.81		8" C900 WATER LINE CROSSING 35+60.10 ELEV=5163.31			5165
5160	3 4 4 4 4 4 4 4 4 4 4 4 4 4 4 4 4 4 4 4	150.00' of 8" PVC @ 0.40%		150.00' of 8" PVC @ 0.40%		264.41" of 8" PVC @ 0.40%	5160
5155	33+40.00, 5.00' RIM=5170.17 INV IN=5161.94 INV OUT=5161.74		34+90.00, 5.00' F RIM=5168.15 INV IN=5161.14 INV OUT=5160.94		0.00, 5.00' R 166.90 =5160.34 =5160.34		5155
5150	7		6 		36+40.00, 5.00' RIM=5166.90 INV IN=5160.34 INV OUT=5160.14		5150
5145	5169.5 170.95 170.73 5169.4	51 / 0.4 / 5169.4 5169.3 5169.3	5169.1 5169.0 169.46 169.23	EXISTING CL GRADE  CL GRADE CL GRADE  PROPOSED CL GRADE  108.9.3	5168.6 167.96 5168.5 167.73	5168.2 167.48 167.23 166.96	5145 \$6.54 \$7.45
5140 33+00	v)	34+00	35+00	36+0	v v	37+00	5140 37+50











PROPERTY LINE
PROPOSED LOT LINE
EX. SANITARY SEWERssss
EX. WATER LINE w
EX. STORM LINE st
EX. GAS LINE G
EX. BURIED ELECTRIC LINE E
EX. OVERHEAD ELECTRIC LINE OU
EX. CABLE TV ctv
EX. FIRE HYDRANT
EX. WATER VALVE
EX. WATER METER
EX. MANHOLE
EX. LIGHT POLE
EX. UTILITY POLE
PROPOSED STORM SEWER
PROPOSED SANITARY SEWER
PROPOSED WATER LINE w
PROPOSED FIRE HYDRANT
PROPOSED WATER VALVE
PROPOSED METER
PROPOSED MANHOLE
PROPOSED STORM INLET
PROPOSED CONCRETE
PROPOSED ASPHALT

	APPROVE
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CITY ENGINEER

DATE
CONFORMANCE WITH THE

REVIEW IS FOR GENERAL CONFORMANCE WITH THE CITY OF LAFAYETTE "STANDARDS AND SPECIFICATIONS," LATEST EDITION. SOLE RESPONSIBILITY FOR COMPLETENESS AND/OR ACCURACY OF THESE DOCUMENTS SHALL REMAIN WITH THE REGISTERED PROFESSIONAL ENGINEER SEALING THESE PLANS. THE CITY DOES NOT ACCEPT LIABILITY FOR FACILITIES DESIGNED BY OTHERS.

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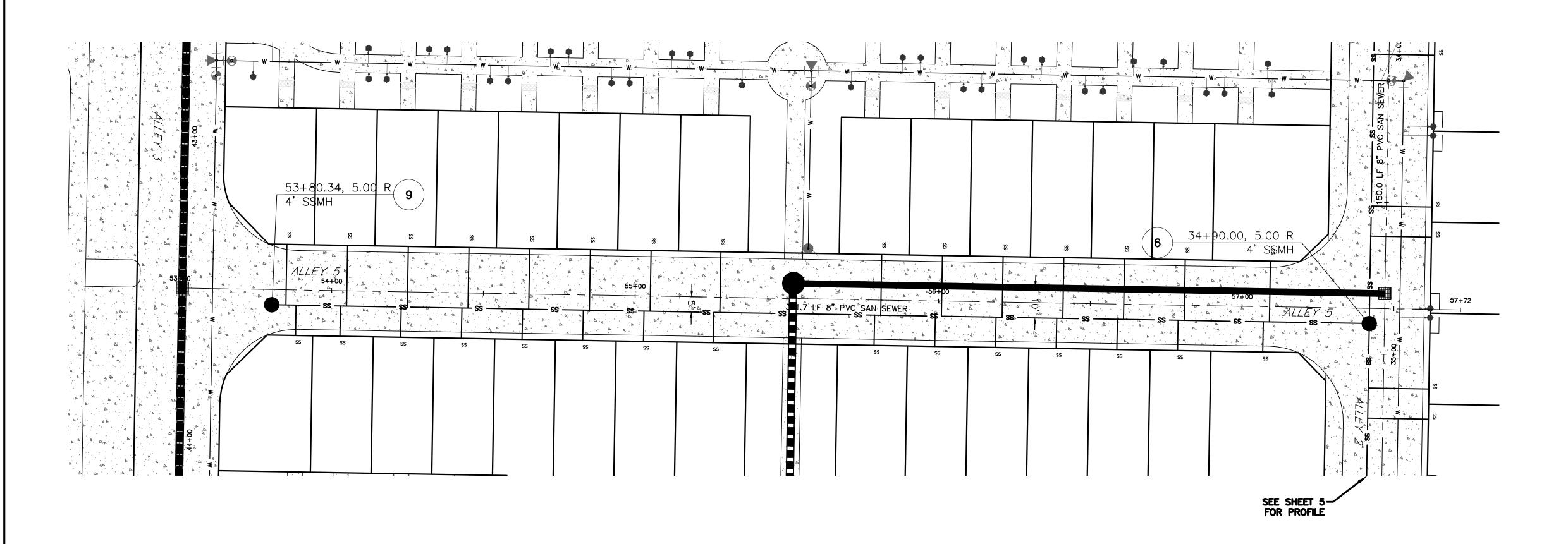
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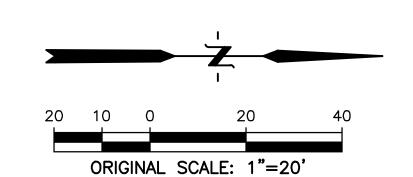
03/27/2020 PRE PLAN

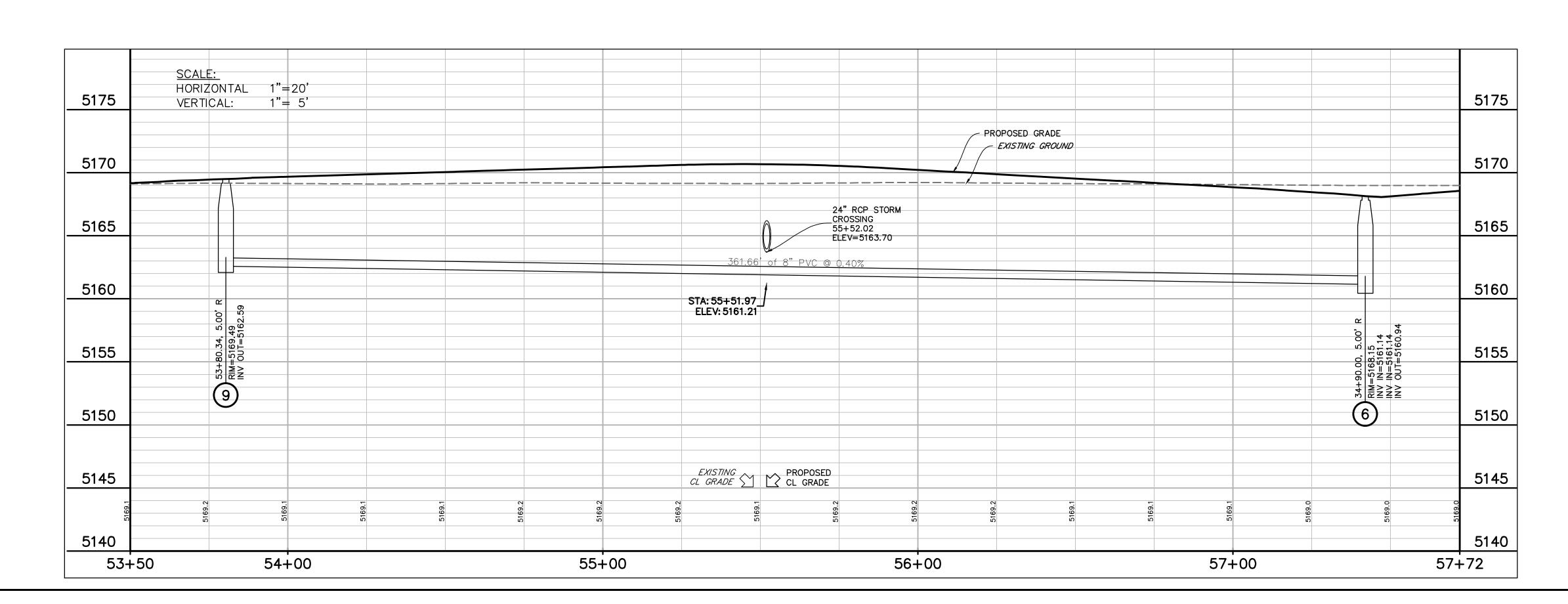
SHEET TITLE:
SANITARY SEWER
PROFILE 7-8

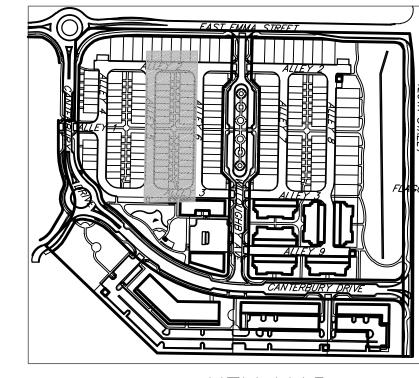
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PROPERTY LINE
PROPOSED LOT LINE
EX. SANITARY SEWER ss
EX. WATER LINE w w
EX. STORM LINE st st
EX. GAS LINE g g
EX. BURIED ELECTRIC LINE E
EX. OVERHEAD ELECTRIC LINE ou
EX. CABLE TV ctv
EX. FIRE HYDRANT
EX. WATER VALVE
EX. WATER METER
EX. MANHOLE
EX. LIGHT POLE
EX. UTILITY POLE
PROPOSED STORM SEWER
PROPOSED SANITARY SEWER
PROPOSED WATER LINE w w
PROPOSED FIRE HYDRANT
PROPOSED WATER VALVE ⊕
PROPOSED METER
PROPOSED MANHOLE
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	APPROVE
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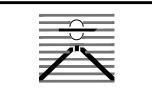
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(303) 442-4338

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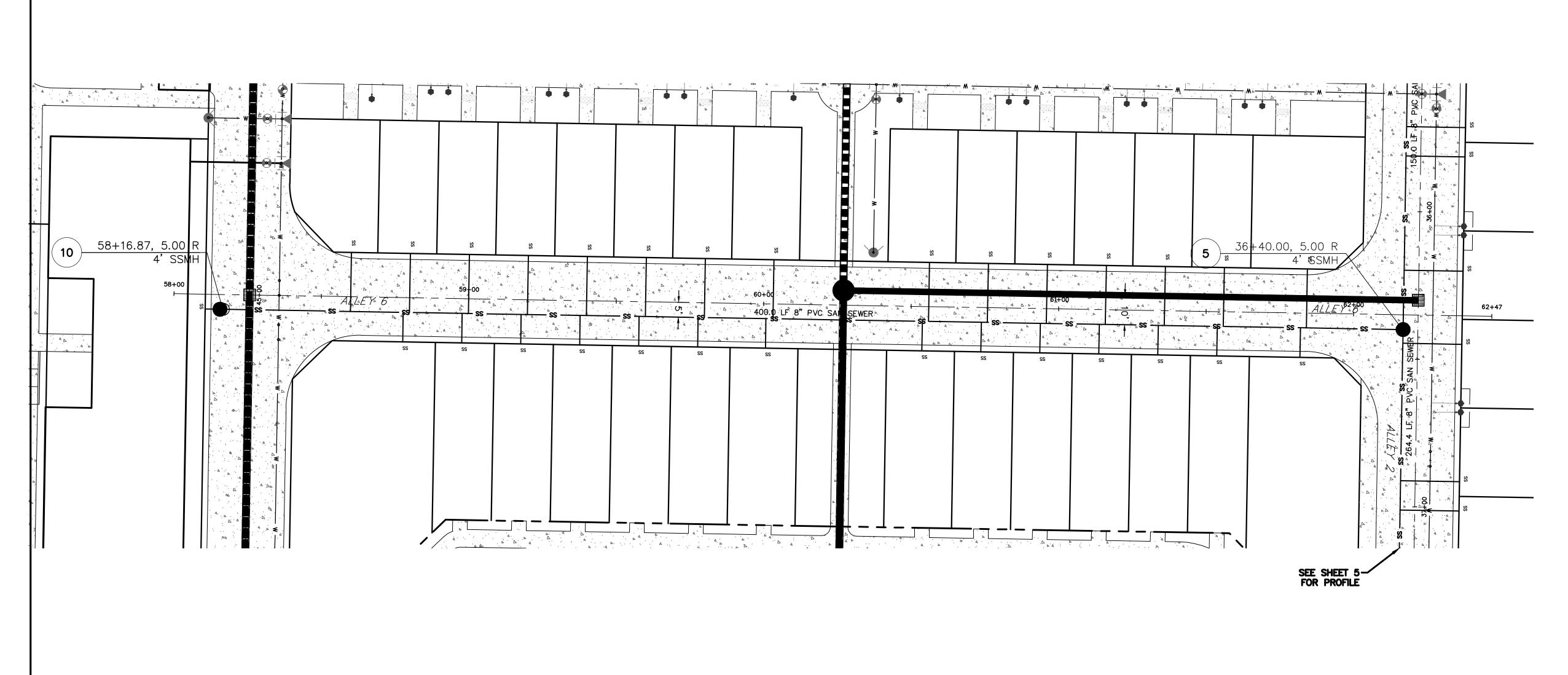
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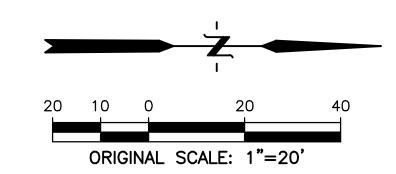
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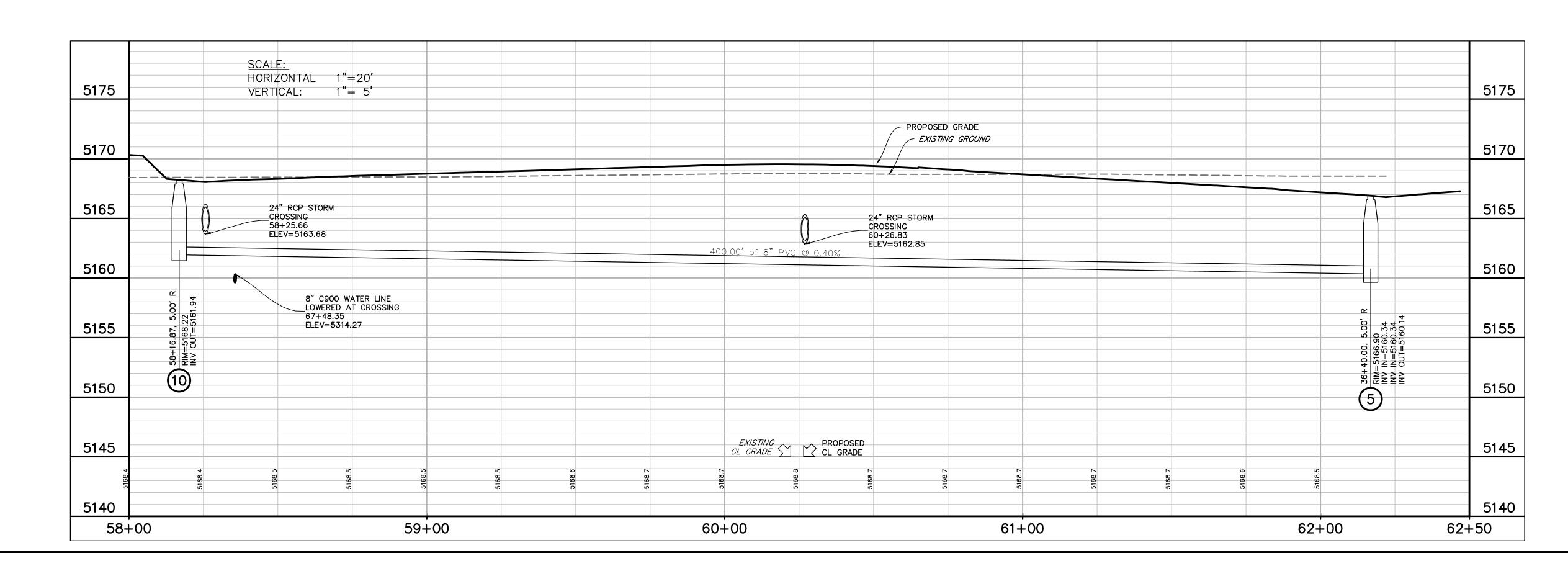
SHEET TITLE:
SANITARY SEWER
PROFILE 6-9

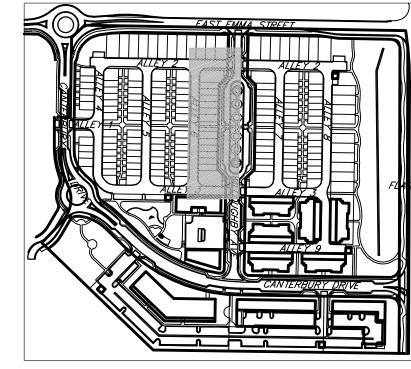
36

ECKED BY:













PROPERTY LINE
PROPOSED LOT LINE            PROPOSED ROW
EX. SANITARY SEWER ss
EX. WATER LINE w w
EX. STORM LINE st st
EX. GAS LINE
EX. BURIED ELECTRIC LINE E
EX. OVERHEAD ELECTRIC LINE ou
EX. CABLE TV ctv
EX. FIRE HYDRANT
EX. WATER VALVE
EX. WATER METER
EX. MANHOLE
EX. LIGHT POLE
EX. UTILITY POLE
PROPOSED STORM SEWER
PROPOSED SANITARY SEWER
TROFOSED SANTART SEWER
PROPOSED WATER LINE w
PROPOSED WATER LINE w
PROPOSED WATER LINE W
PROPOSED WATER LINE W  PROPOSED FIRE HYDRANT   PROPOSED WATER VALVE
PROPOSED WATER LINE  PROPOSED FIRE HYDRANT  PROPOSED WATER VALVE  PROPOSED METER
PROPOSED WATER LINE  PROPOSED FIRE HYDRANT  PROPOSED WATER VALVE  PROPOSED METER  PROPOSED MANHOLE

	APPROVE
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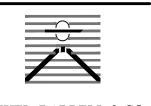
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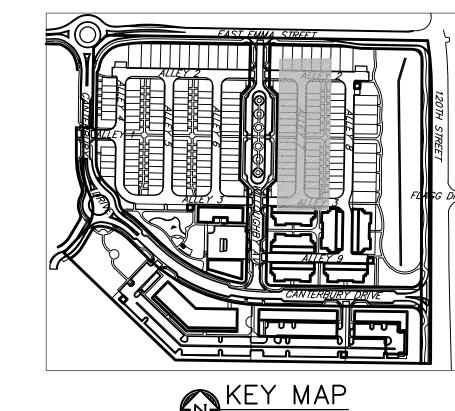


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DATE: 03/27/2020 PRE PLAN

SHEET TITLE: SANITARY SEWER PROFILE 5-10







PROPERTY LINE
PROPOSED LOT LINE
PROPOSED ROW
EX. SANITARY SEWER ss
EX. WATER LINE w w
EX. STORM LINEstst
EX. GAS LINE 6
EX. BURIED ELECTRIC LINE E
EX. OVERHEAD ELECTRIC LINE ou
EX. CABLE TV ctv
EX. FIRE HYDRANT
EX. WATER VALVE
EX. WATER METER
EX. MANHOLE
EX. LIGHT POLE
EX. UTILITY POLE
PROPOSED STORM SEWER
PROPOSED SANITARY SEWER
PROPOSED WATER LINE w
PROPOSED FIRE HYDRANT
PROPOSED WATER VALVE
PROPOSED METER
PROPOSED MANHOLE
PROPOSED STORM INLET
PROPOSED CONCRETE
PROPOSED ASPHALT

### APPROVED:

5140

67+00

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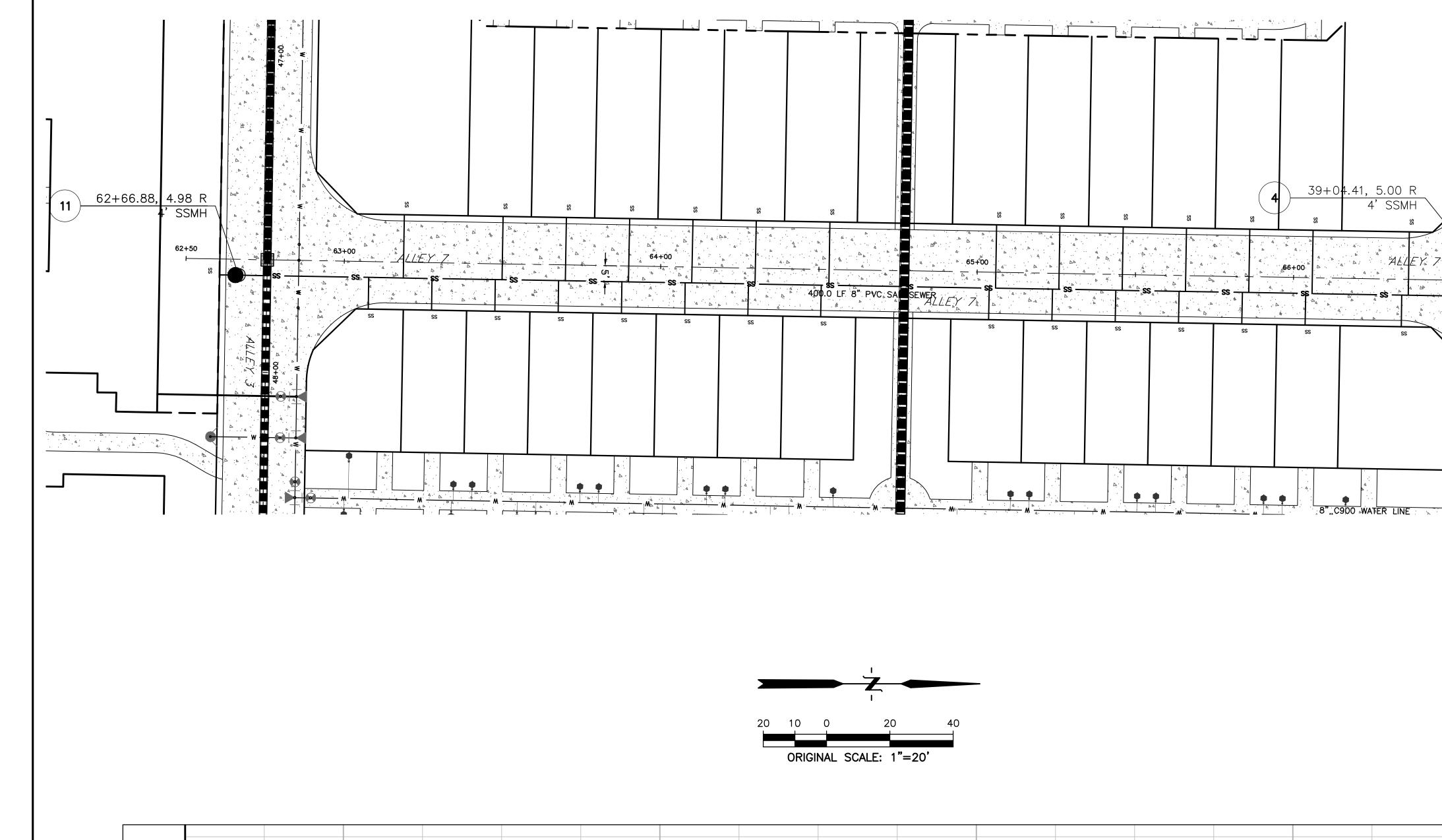
CONTACT: CAMERON KNAPP, P.E. (303) 442-4338

CONSTRUCTION

DATE: 03/27/2020 PRE PLAN

SHEET TITLE: SANITARY SEWER PROFILE 4-11

38

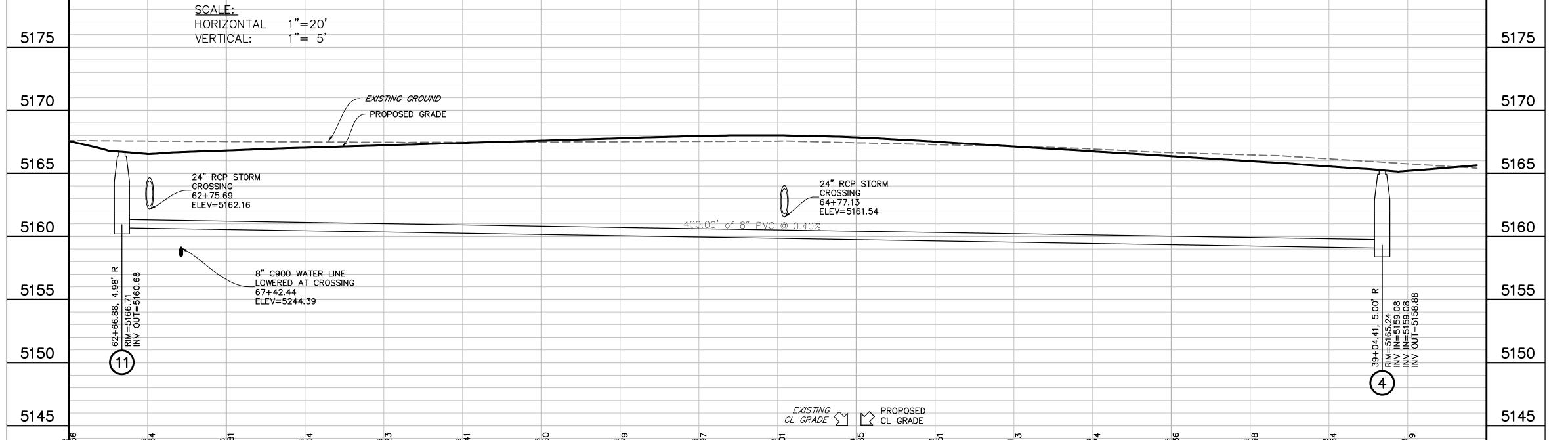


64+00

5140

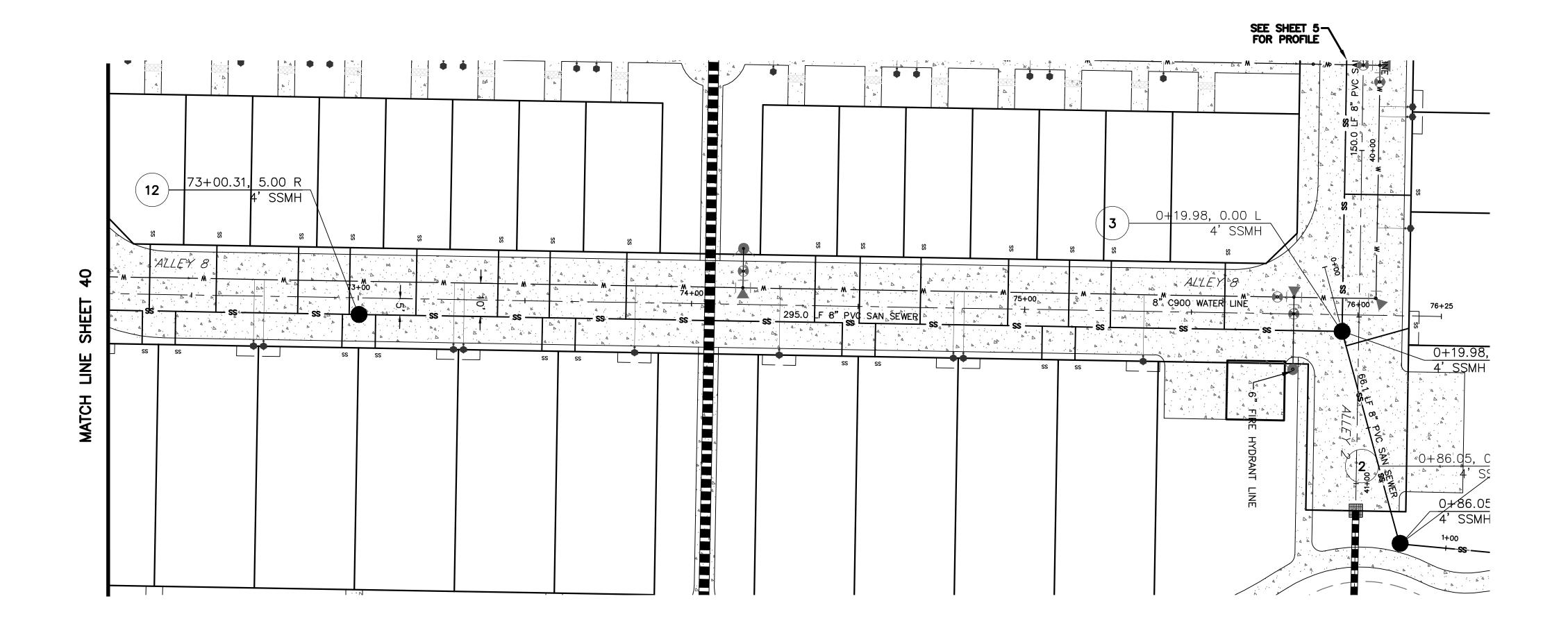
62+50

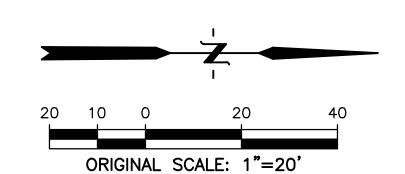
63+00

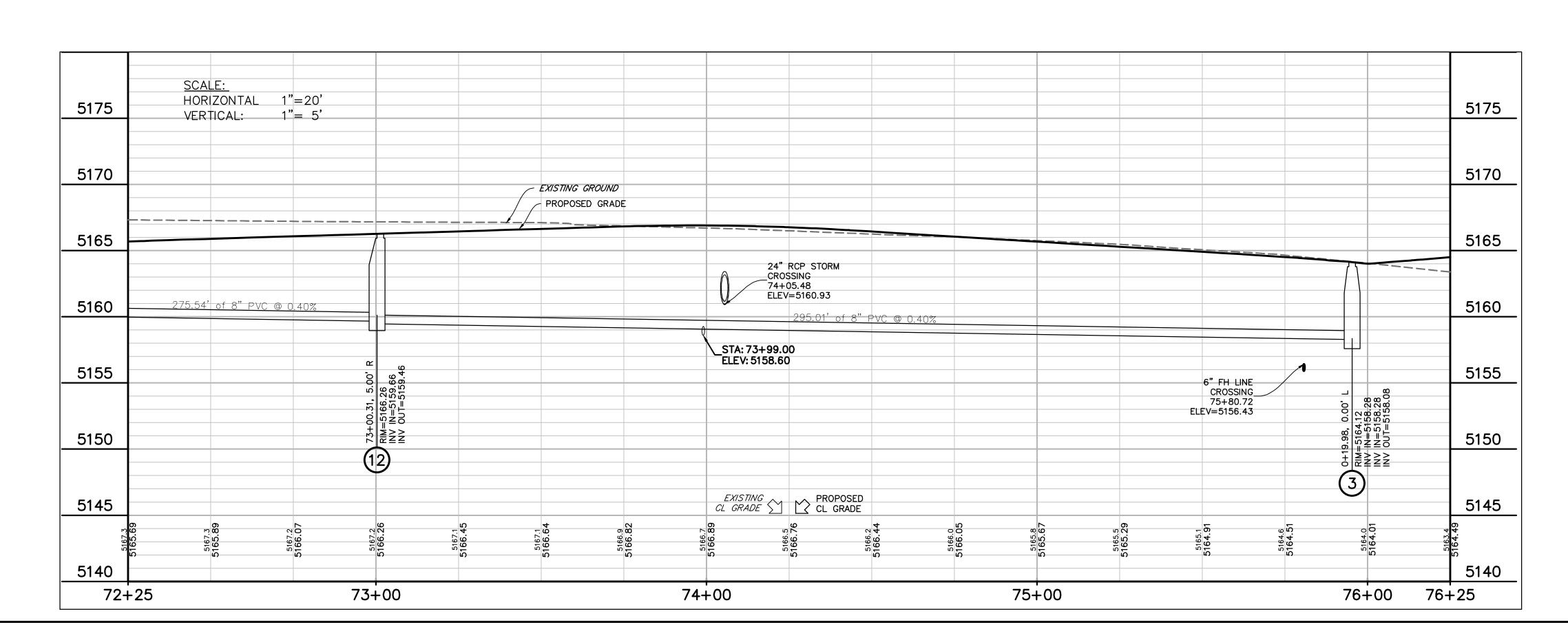


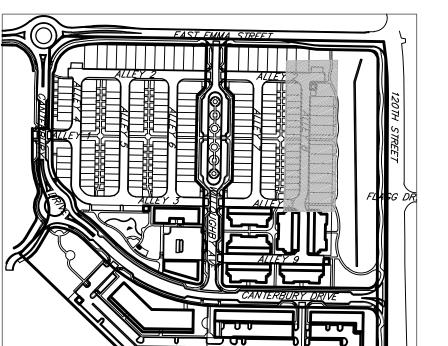
65+00

66+00













PROPERTY LINE
PROPOSED LOT LINE
PROPOSED ROW
EX. SANITARY SEWERssss
EX. WATER LINE w w
EX. STORM LINE st st
EX. GAS LINE
EX. BURIED ELECTRIC LINE E
EX. OVERHEAD ELECTRIC LINE ou
EX. CABLE TV ctv
EX. FIRE HYDRANT
EX. WATER VALVE
EX. WATER METER
EX. MANHOLE
EX. LIGHT POLE
EX. UTILITY POLE
PROPOSED STORM SEWER
PROPOSED SANITARY SEWER
PROPOSED WATER LINE w w
PROPOSED FIRE HYDRANT
PROPOSED WATER VALVE ↔
PROPOSED METER
PROPOSED MANHOLE
PROPOSED STORM INLET
PROPOSED CONCRETE
PROPOSED ASPHALT

	APPROVE
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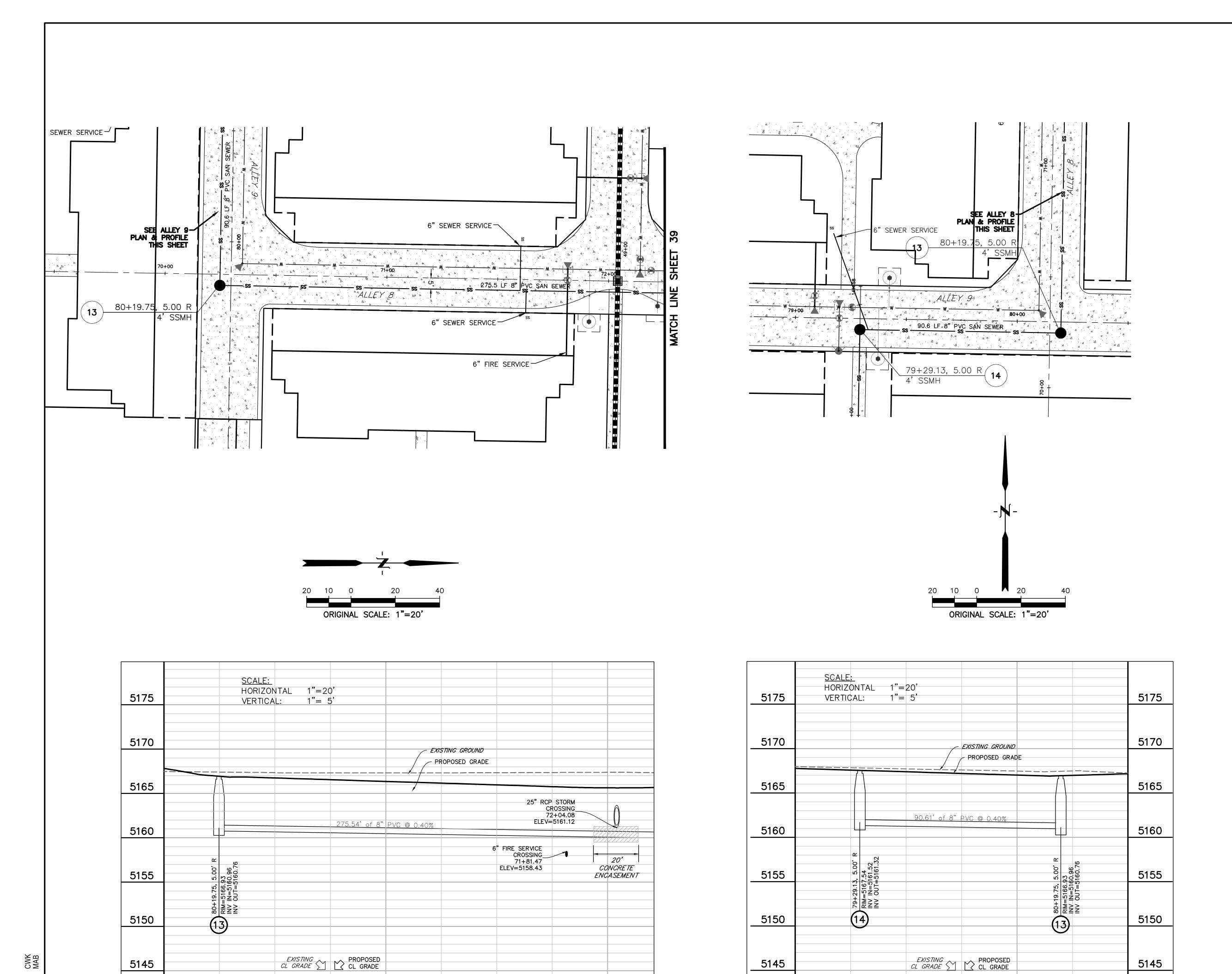
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DATE:

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SHEET TITLE: SANITARY SEWER PROFILE 3-12

39



72+00

5140

70+00

71+00

5140

79+00

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(303) 442-4338

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DATE:

03/27/2020 PRE PLAN

KEY MAP

NOT TO SCALE



### <u>LEGEND</u>

PROPERTY LINE
PROPOSED LOT LINE            PROPOSED ROW
EX. SANITARY SEWER ss — ss — ss — ss — ss — ss — ss
EX. WATER LINE w
EX. STORM LINE st st
EX. GAS LINE
EX. BURIED ELECTRIC LINE E
EX. OVERHEAD ELECTRIC LINE ou
EX. CABLE TV ctv
EX. FIRE HYDRANT &
EX. WATER VALVE
EX. WATER METER
EX. MANHOLE
EX. LIGHT POLE
EX. UTILITY POLE
PROPOSED STORM SEWER.
PROPOSED STORM SEWER
PROPOSED SANITARY SEWER
PROPOSED STORM SEWER
PROPOSED STORM SEWER
PROPOSED STORM SEWER
PROPOSED STORM SEWER.  PROPOSED SANITARY SEWER  PROPOSED WATER LINE  PROPOSED FIRE HYDRANT  PROPOSED WATER VALVE  PROPOSED METER
PROPOSED STORM SEWER.  PROPOSED SANITARY SEWER  PROPOSED WATER LINE  PROPOSED FIRE HYDRANT  PROPOSED WATER VALVE  PROPOSED METER  PROPOSED MANHOLE

5140

80+50

80+00

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SHEET TITLE: SANITARY SEWER PROFILE 12-13-14

10

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DATE:

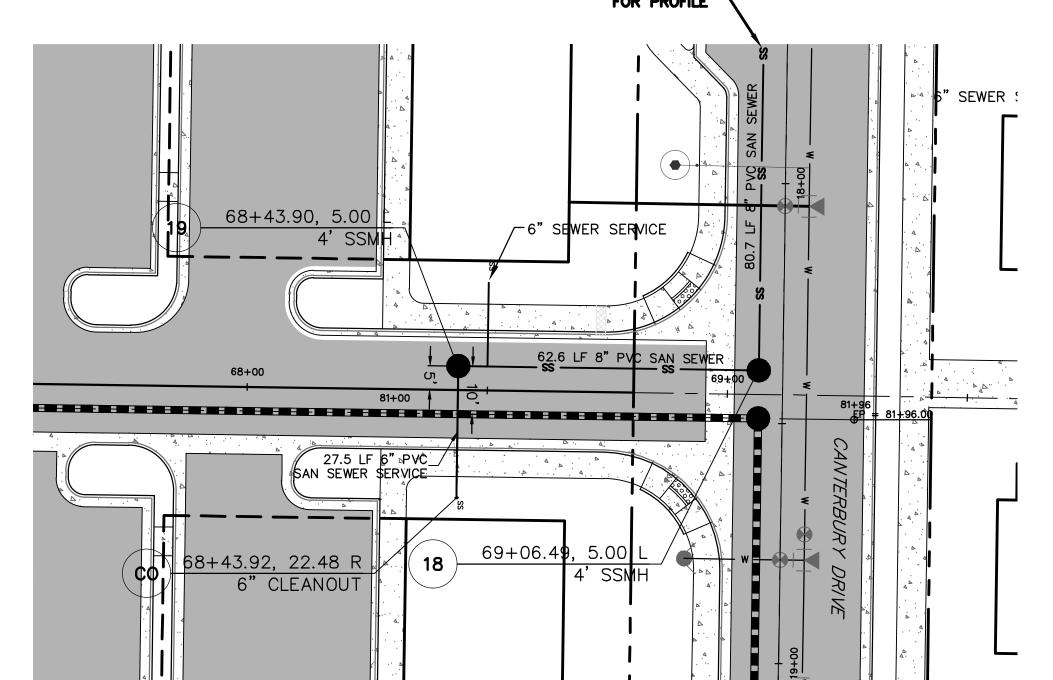
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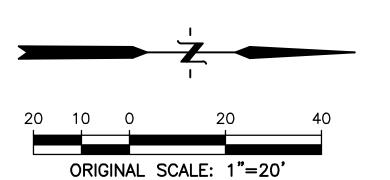
SHEET TITLE: SANITARY SEWER PROFILE 14-15 & 18-19

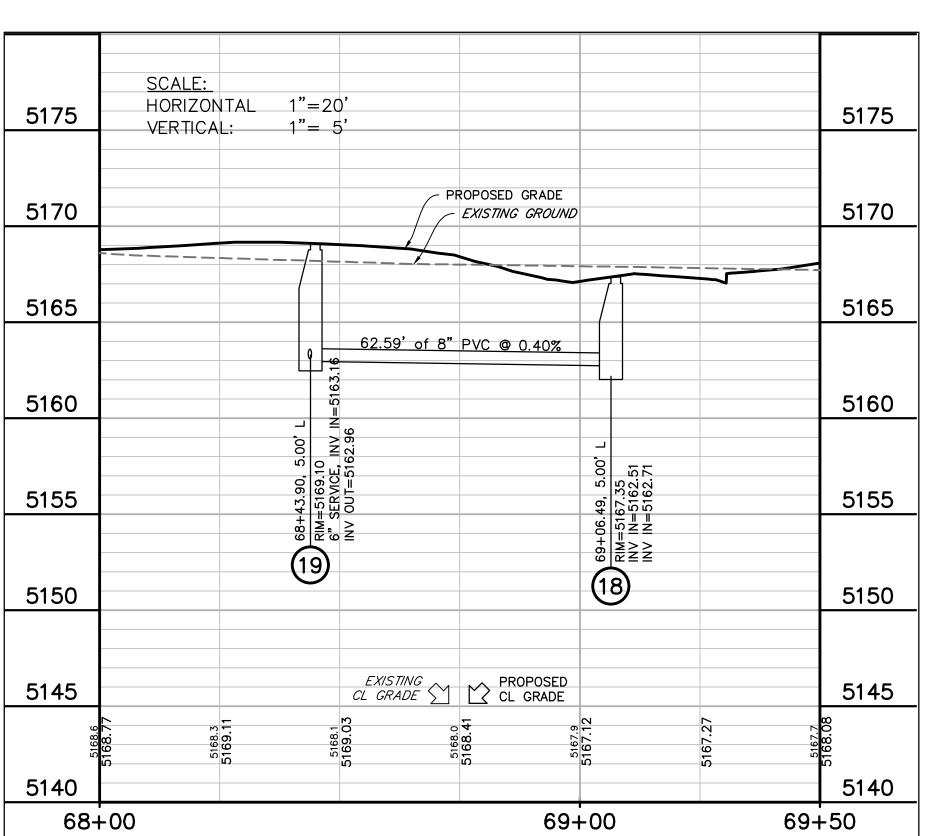
SEE SHEET 5 -FOR PROFILE SEWER KEY MAP

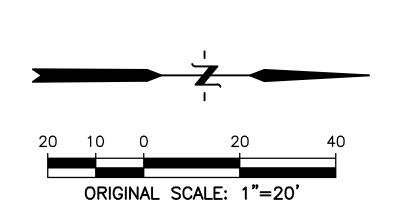
NOT TO SCALE 68+43.90, 5.00 62.6 LF 8" PVC SAN SEWER Know what's **below**.

Call before you dig. 27.5 LF 6" PVC\_ SAN SEWER SERVICE









SEE SHEET 5-FOR PROFILE

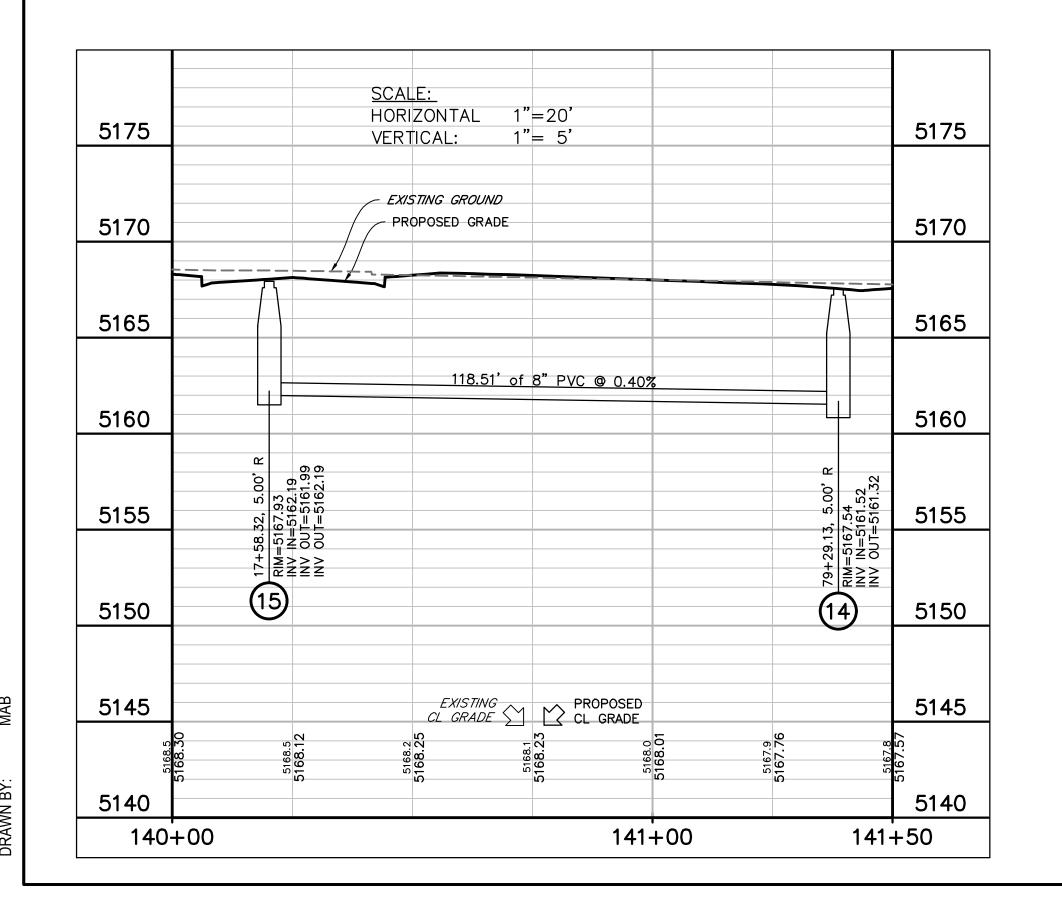
79+29.13, 5.00 R

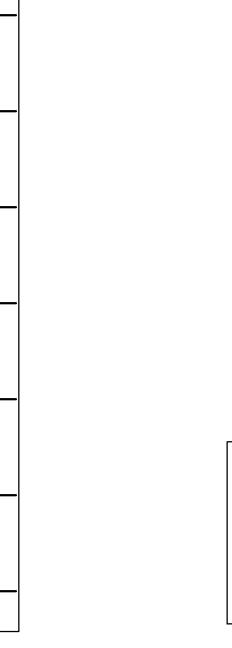
6" SEWER SERVICE-

118.5 LF 8 APVC SAN SEWER - 111+00

58.32, 5.00 R

" SEWER SERVICE -



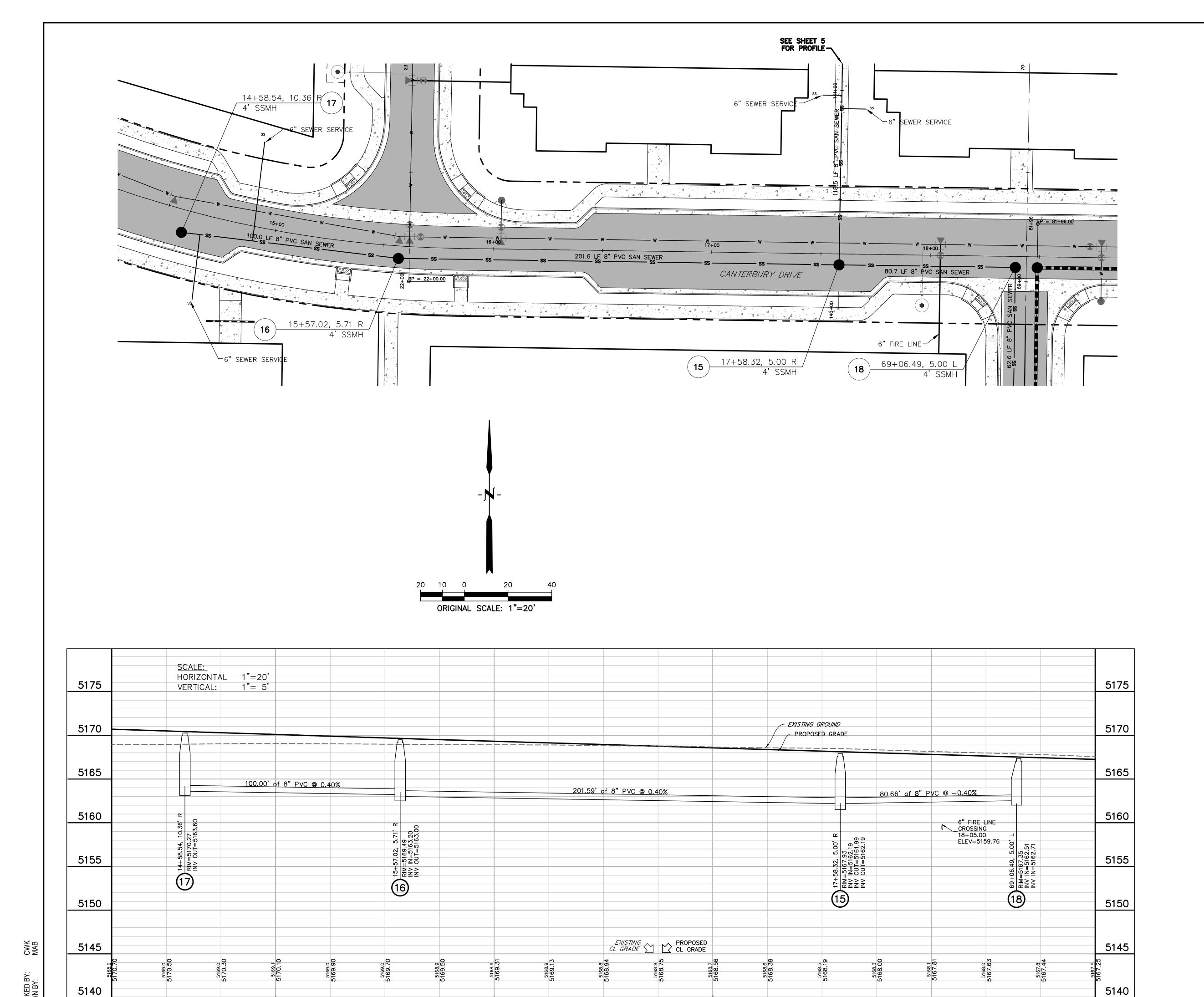


<u>LEGEND</u> PROPERTY LINE. PROPOSED LOT LINE. PROPOSED ROW EX. SANITARY SEWER EX. WATER LINE . EX. STORM LINE EX. GAS LINE . EX. BURIED ELECTRIC LINE EX. OVERHEAD ELECTRIC LINE..... \_\_\_\_ ou \_\_\_\_ EX. CABLE TV .... EX. FIRE HYDRANT. EX. WATER VALVE... EX. WATER METER. EX. MANHOLE . EX. LIGHT POLE EX. UTILITY POLE .. PROPOSED STORM SEWER. PROPOSED SANITARY SEWER PROPOSED WATER LINE PROPOSED FIRE HYDRANT PROPOSED WATER VALVE PROPOSED METER. PROPOSED MANHOLE PROPOSED STORM INLET

APPROVED:
CITY ENGINEER DATE
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PROPOSED CONCRETE.

PROPOSED ASPHALT.



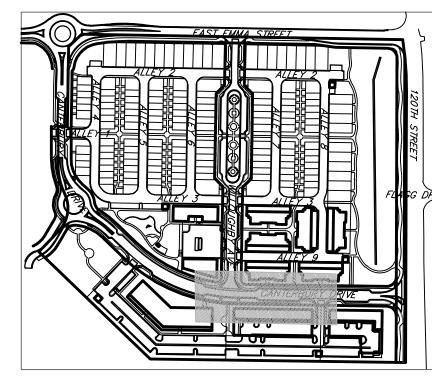
17+00

18+00

16+00

15+00

14+25







### <u>LEGEND</u>

PROPERTY LINE
PROPOSED LOT LINE
PROPOSED ROW
EX. SANITARY SEWERssss
EX. WATER LINE w w
EX. STORM LINE st — st —
EX. GAS LINE G
EX. BURIED ELECTRIC LINE E
EX. OVERHEAD ELECTRIC LINE ou
EX. CABLE TV ctv
EX. FIRE HYDRANT &
EX. WATER VALVE
EX. WATER METER
EX. MANHOLE
EX. LIGHT POLE
EX. UTILITY POLE
PROPOSED STORM SEWER
PROPOSED SANITARY SEWER
PROPOSED WATER LINE w
PROPOSED FIRE HYDRANT
PROPOSED WATER VALVE
PROPOSED METER
PROPOSED MANHOLE
PROPOSED STORM INLET
PROPOSED CONCRETE
PROPOSED ASPHALT

	APPROVE
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18+75

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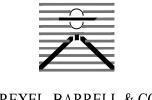
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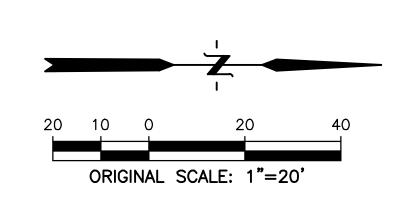
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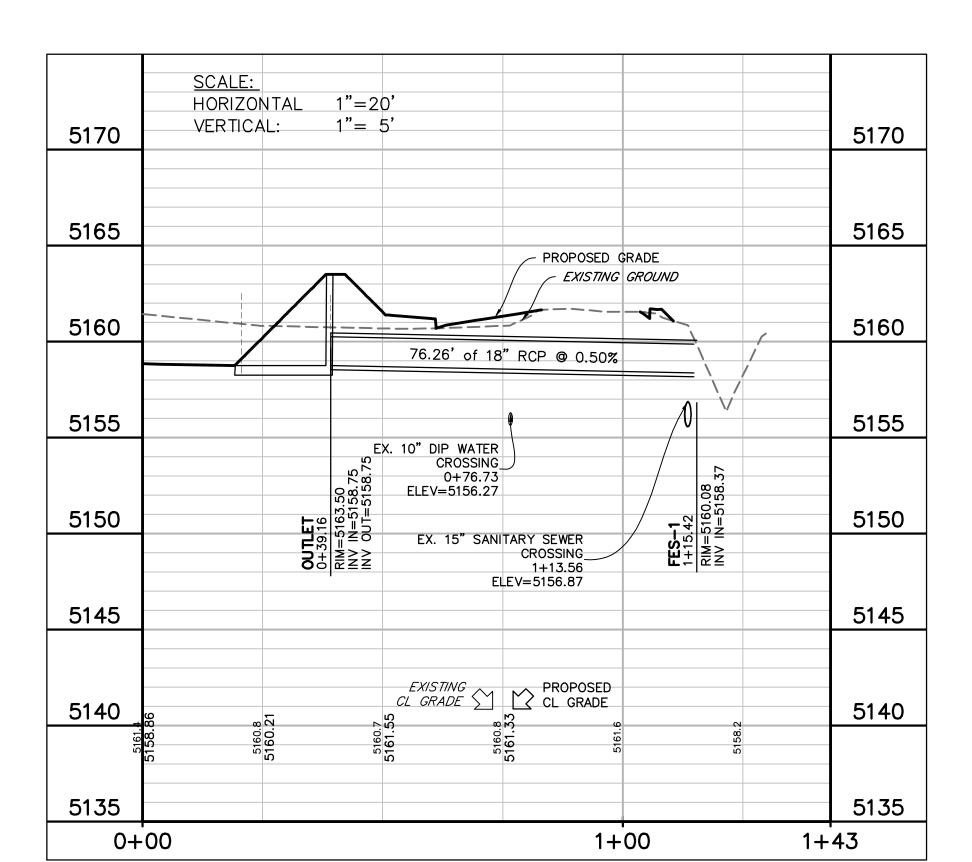
SHEET TITLE:
SANITARY SEWER
PROFILE 17-16-15-18

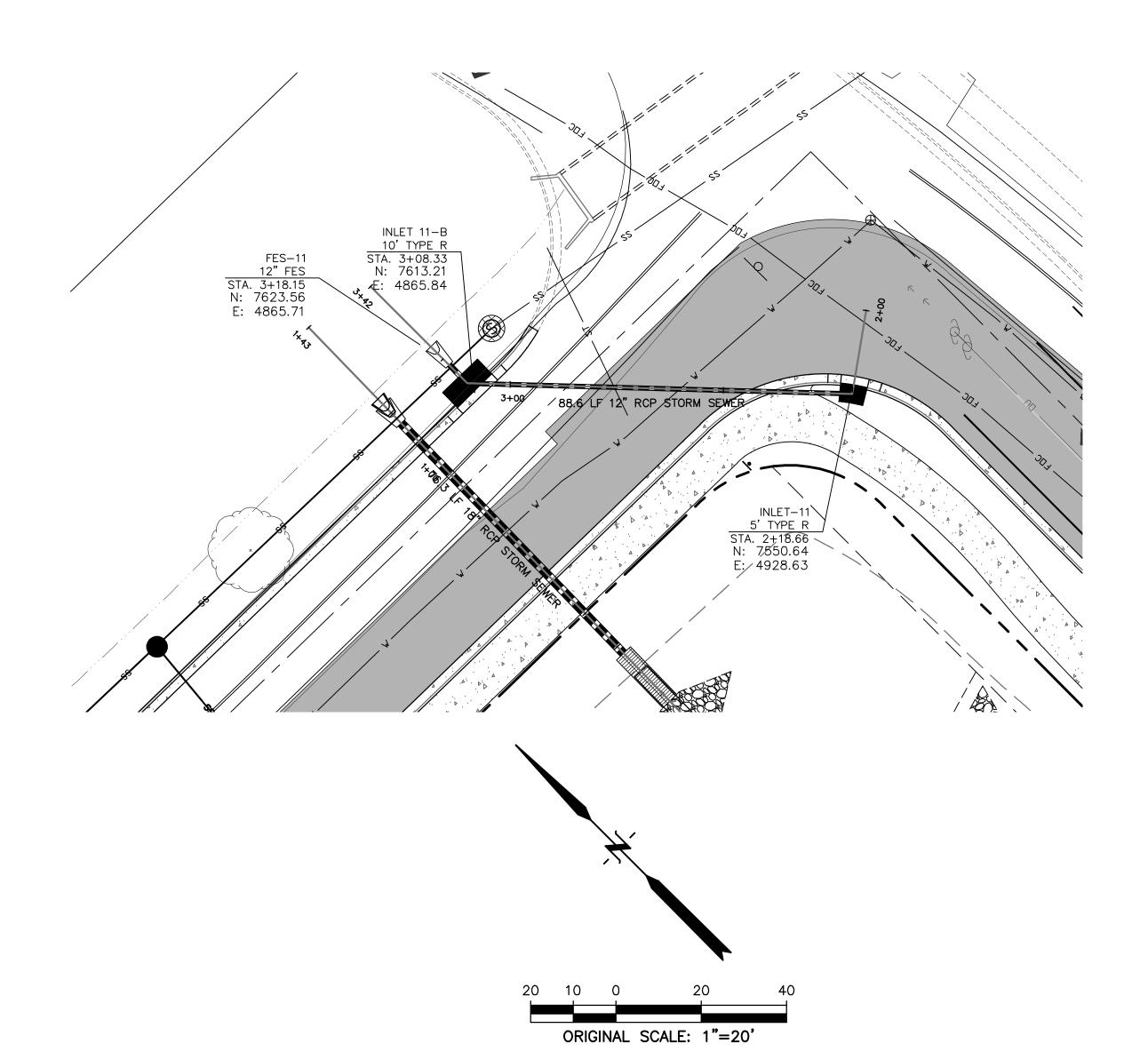
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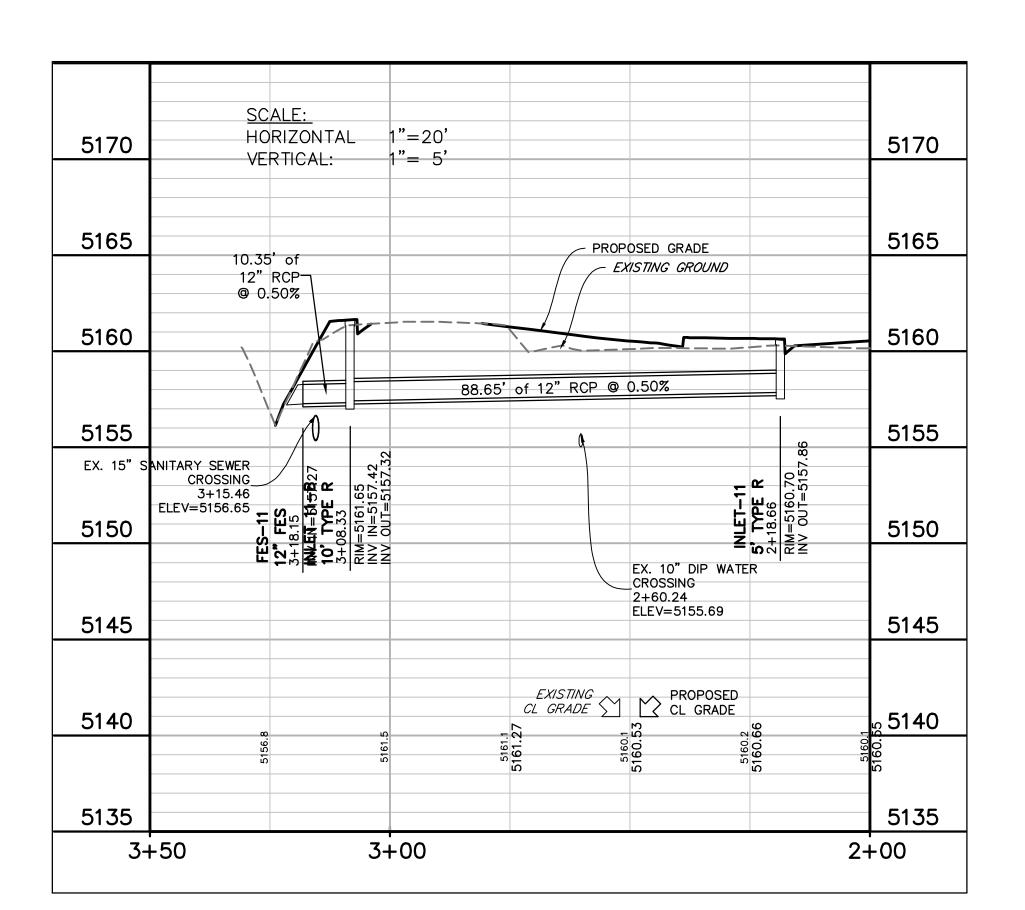


STORM 1

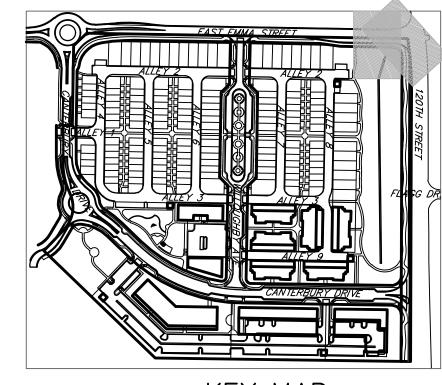
OUTLET OUTLET STRUCTION STA. 0+39.16 N: 7546.95 E: 4846.87







STORM 11







### <u>LEGEND</u>

PROPERTY LINE
PROPOSED LOT LINE            PROPOSED ROW
EX. SANITARY SEWER ss
EX. WATER LINE w
EX. STORM LINE stst
EX. GAS LINE
EX. BURIED ELECTRIC LINE E
EX. OVERHEAD ELECTRIC LINE ou
EX. CABLE TV ctv
EX. FIRE HYDRANT
EX. WATER VALVE
EX. WATER METER
EX. MANHOLE
EX. LIGHT POLE
EX. UTILITY POLE
PROPOSED STORM SEWER
PROPOSED SANITARY SEWER
PROPOSED WATER LINE
PROPOSED FIRE HYDRANT
PROPOSED WATER VALVE
PROPOSED WATER METER
PROPOSED MANHOLE
PROPOSED STORM INLET
PROPOSED CONCRETE
PROPOSED ASPHALT

APPROVED:	
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CONTACT: CAMERON KNAPP, P.E.

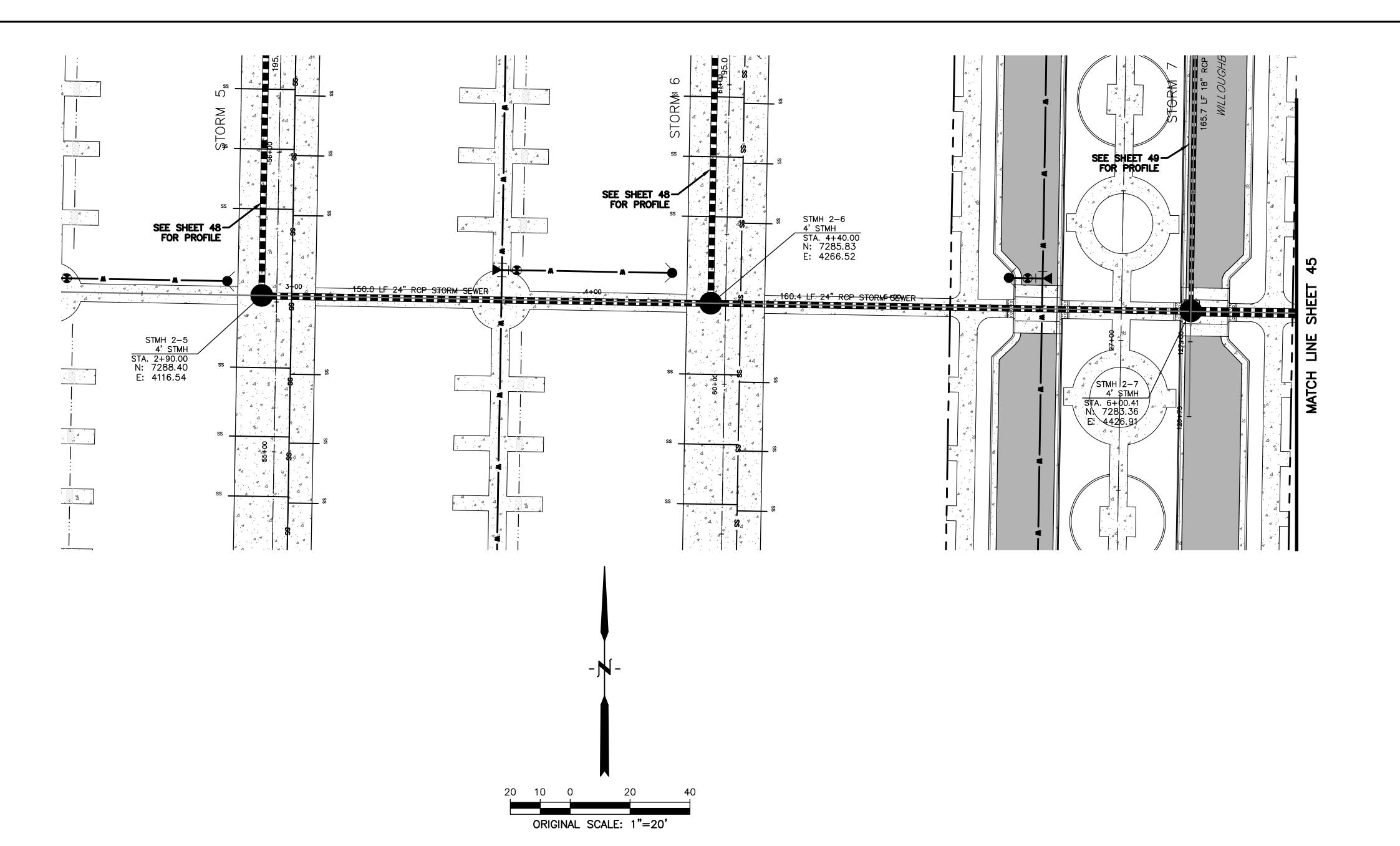
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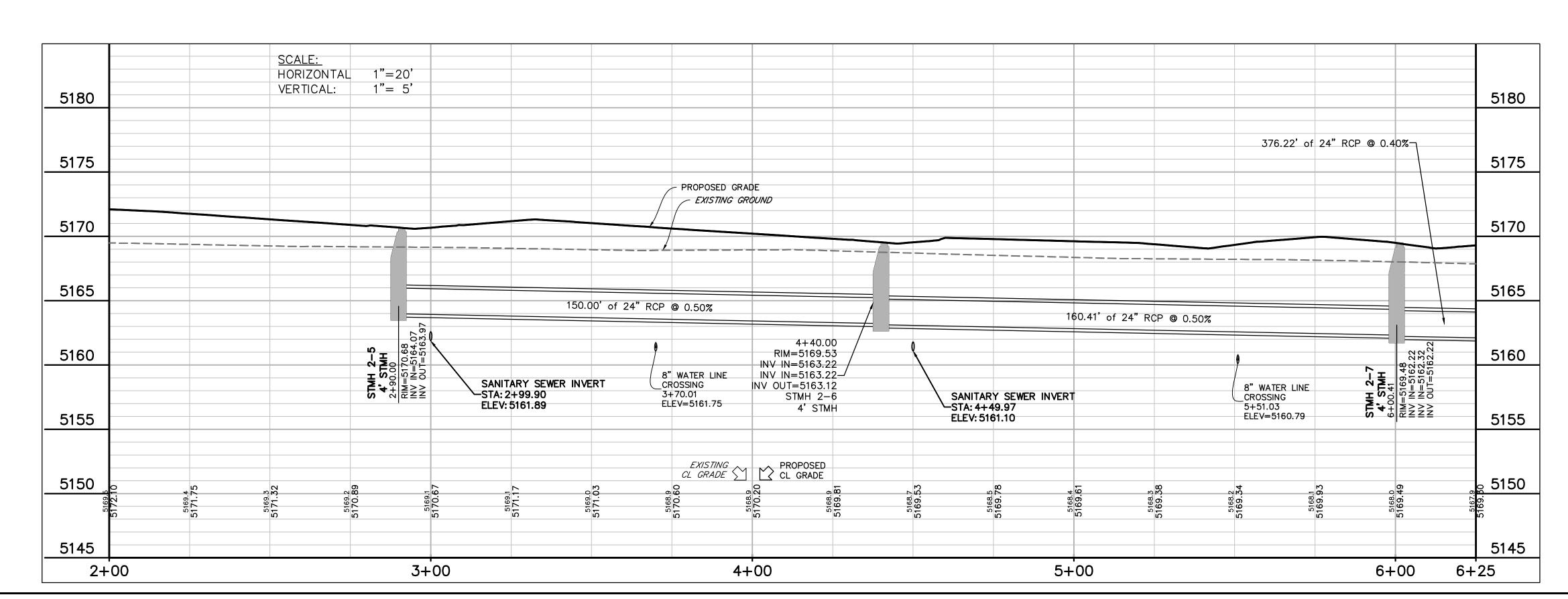
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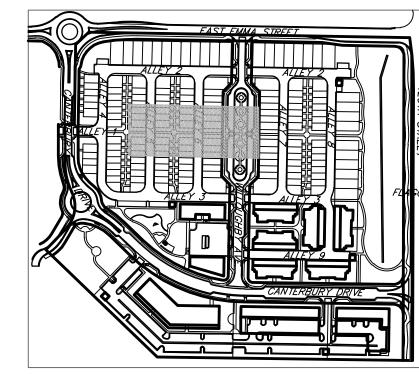
DRAFT

SHEET TITLE: STORM 1 & 11 PROFILE

43











PROPERTY LINE
PROPOSED LOT LINE
EX. SANITARY SEWER ss
EX. WATER LINE w
EX. STORM LINE st st
EX. GAS LINE
EX. BURIED ELECTRIC LINE E
EX. OVERHEAD ELECTRIC LINE ou
EX. CABLE TV ctv
EX. FIRE HYDRANT
EX. WATER VALVE
EX. WATER METER
EX. MANHOLE
EX. LIGHT POLE
EX. UTILITY POLE
PROPOSED STORM SEWER
PROPOSED SANITARY SEWER
PROPOSED WATER LINE
PROPOSED FIRE HYDRANT
PROPOSED WATER VALVE ⊕
PROPOSED WATER METER
PROPOSED MANHOLE
PROPOSED STORM INLET
PROPOSED CONCRETE
PROPOSED ASPHALT

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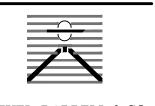
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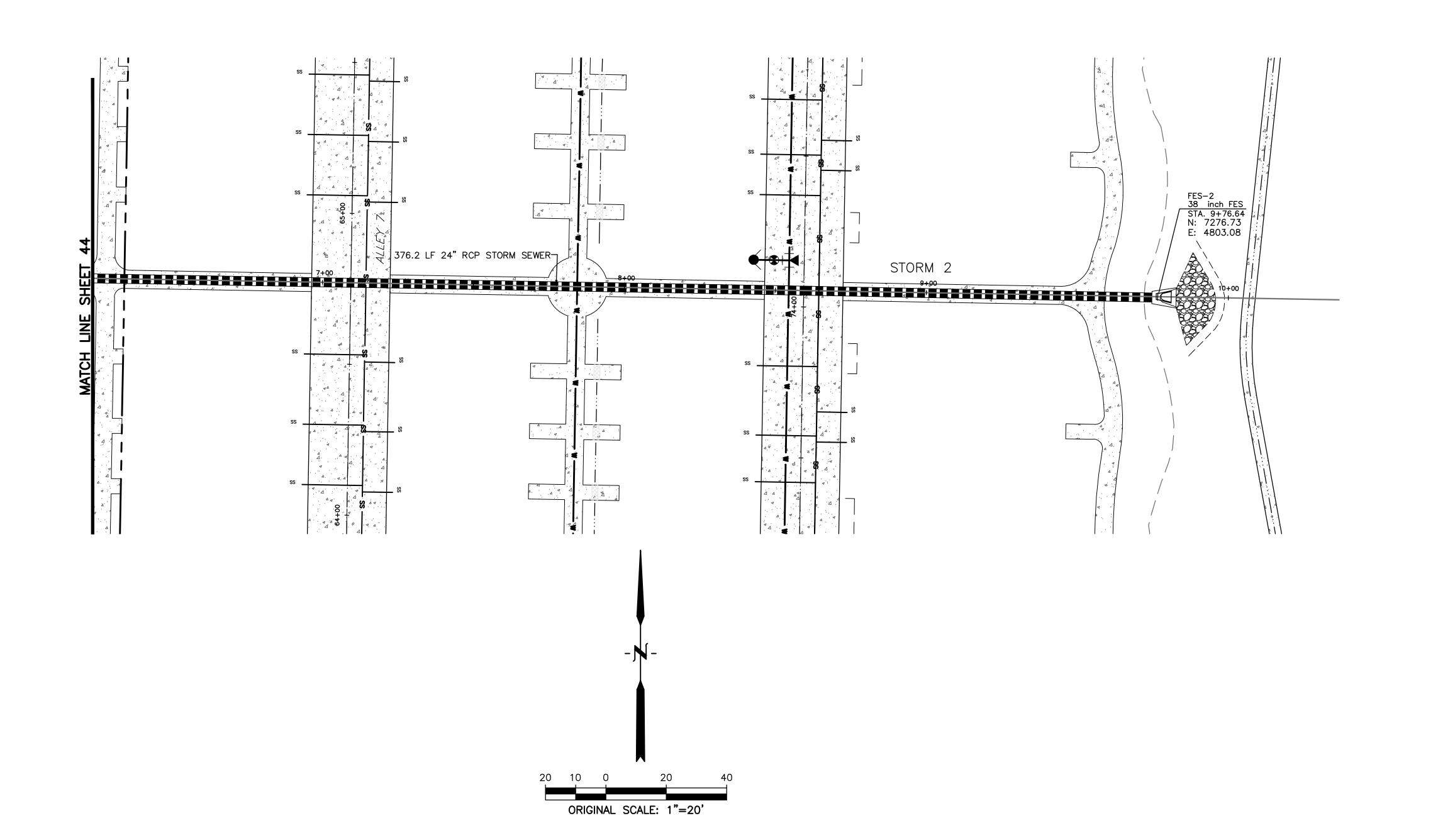
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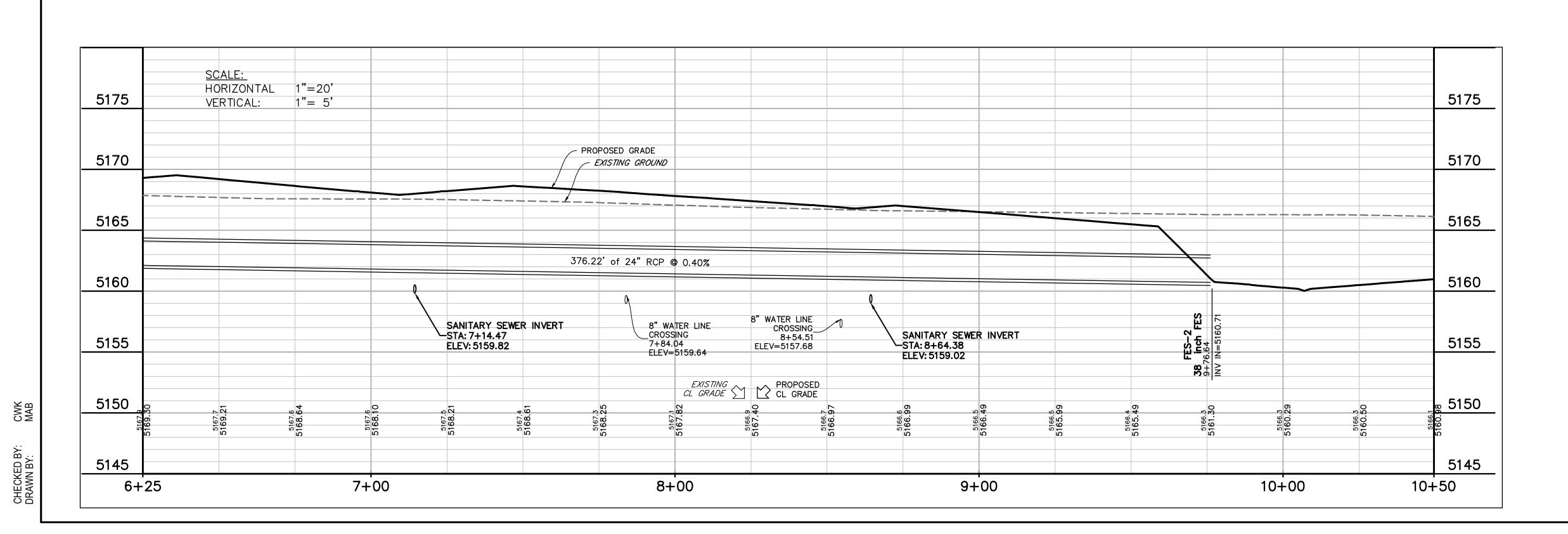
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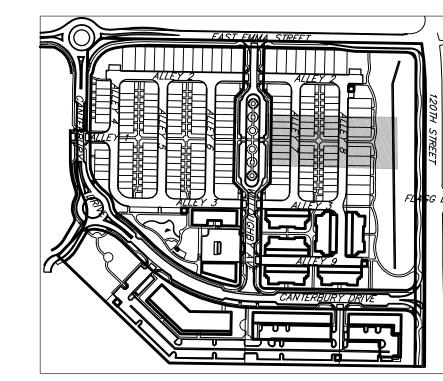
SHEET TITLE: STORM 2A PROFILE

11

D BY: (











PROPERTY LINE
PROPOSED LOT LINE
EX. SANITARY SEWER ss
EX. WATER LINE w w
EX. STORM LINE st st
EX. GAS LINE
EX. BURIED ELECTRIC LINE E
EX. OVERHEAD ELECTRIC LINE ou
EX. CABLE TV ctv
EX. FIRE HYDRANT
EX. WATER VALVE
EX. WATER METER
EX. MANHOLE
EX. LIGHT POLE
EX. UTILITY POLE
PROPOSED STORM SEWER
PROPOSED SANITARY SEWER
PROPOSED WATER LINE
PROPOSED FIRE HYDRANT
PROPOSED WATER VALVE
PROPOSED WATER METER
PROPOSED MANHOLE
PROPOSED STORM INLET
PROPOSED CONCRETE
PROPOSED ASPHALT

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BOULDER, CO 80302



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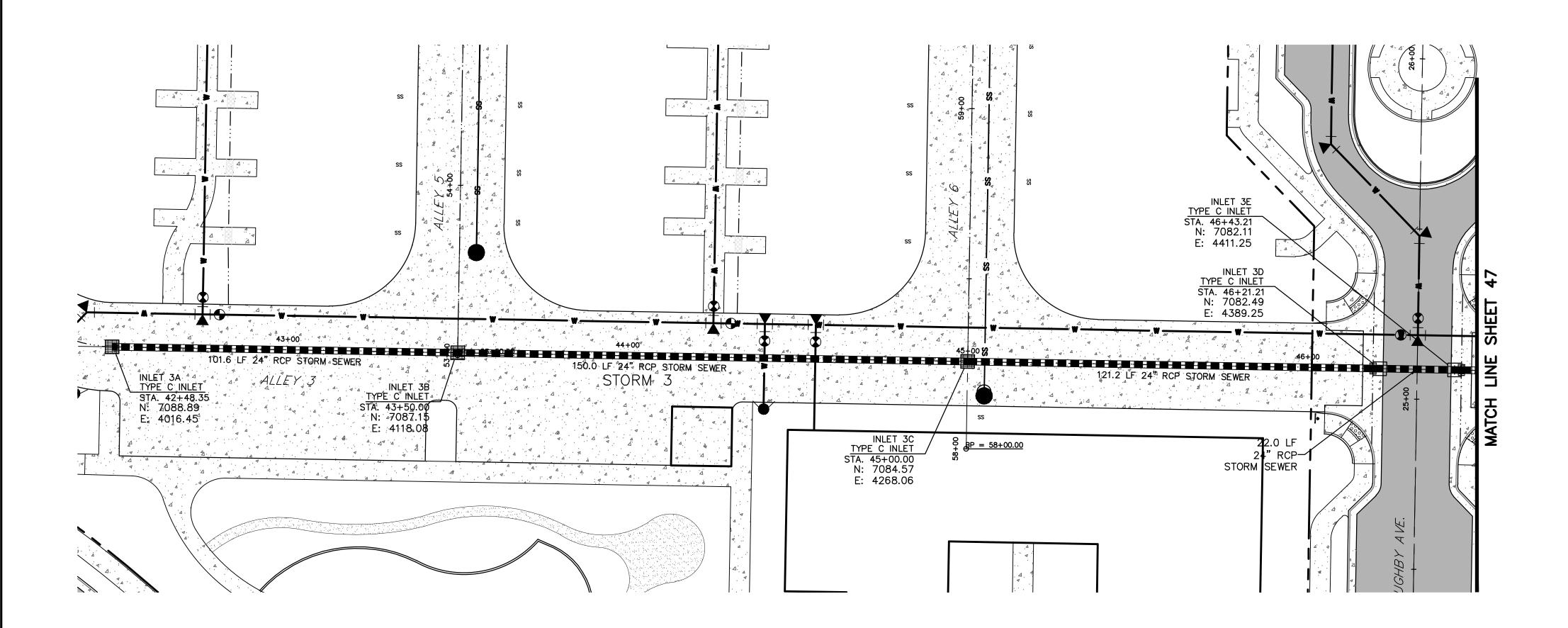
CONTACT: CAMERON KNAPP, P.E. (303) 442-4338

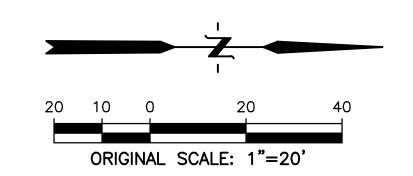
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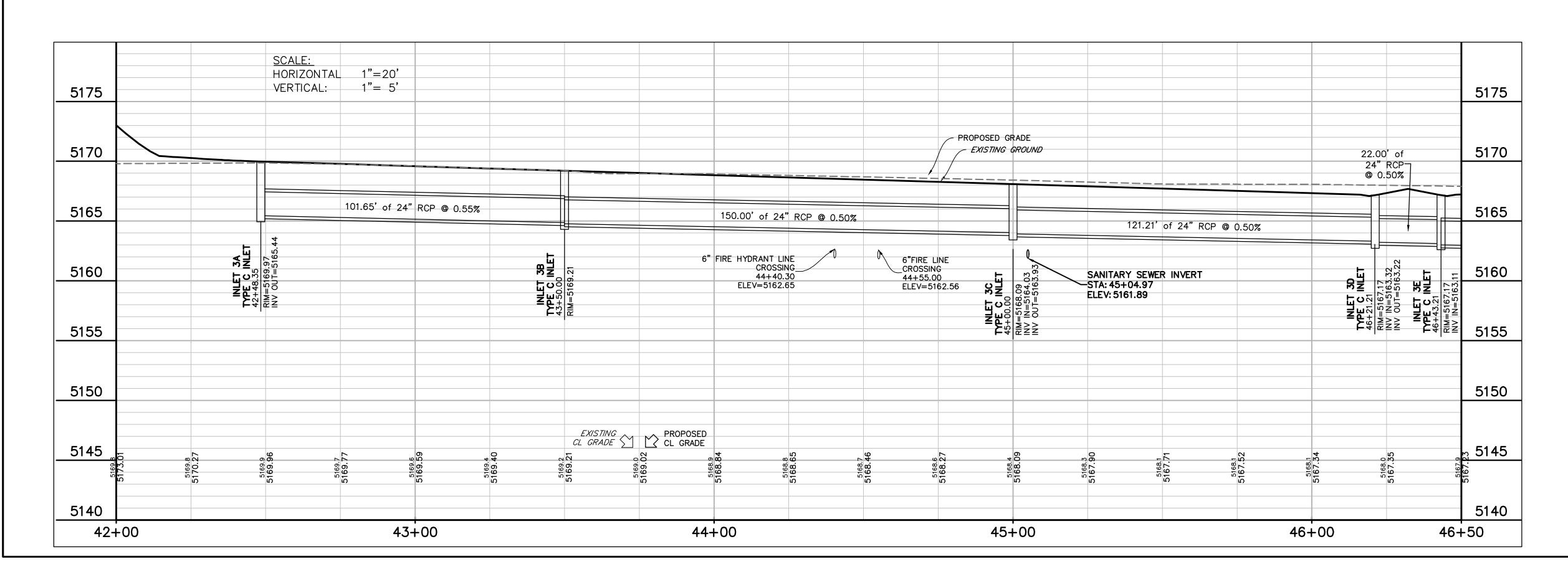
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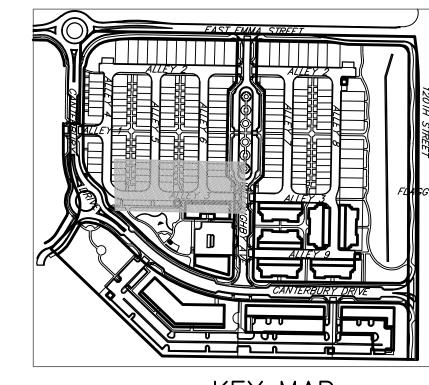
SHEET TITLE: STORM 2B PROFILE

45













PROPERTY LINE

PROPERTY LINE
PROPOSED LOT LINE            PROPOSED ROW
EX. SANITARY SEWER ss
EX. WATER LINE w w
EX. STORM LINE st — st — st —
EX. GAS LINE
EX. BURIED ELECTRIC LINE E
EX. OVERHEAD ELECTRIC LINE ou
EX. CABLE TV ctv
EX. FIRE HYDRANT
EX. WATER VALVE
EX. WATER METER
EX. MANHOLE
EX. LIGHT POLE
EX. UTILITY POLE
PROPOSED STORM SEWER
PROPOSED SANITARY SEWER
PROPOSED WATER LINE
PROPOSED FIRE HYDRANT
PROPOSED WATER VALVE ↔
PROPOSED WATER METER
PROPOSED MANHOLE
PROPOSED STORM INLET
PROPOSED CONCRETE
PROPOSED ASPHALT

APPI	ROVE
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CITY ENGINEER

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BOULDER, COLORADO 80301
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(303) 442-4338

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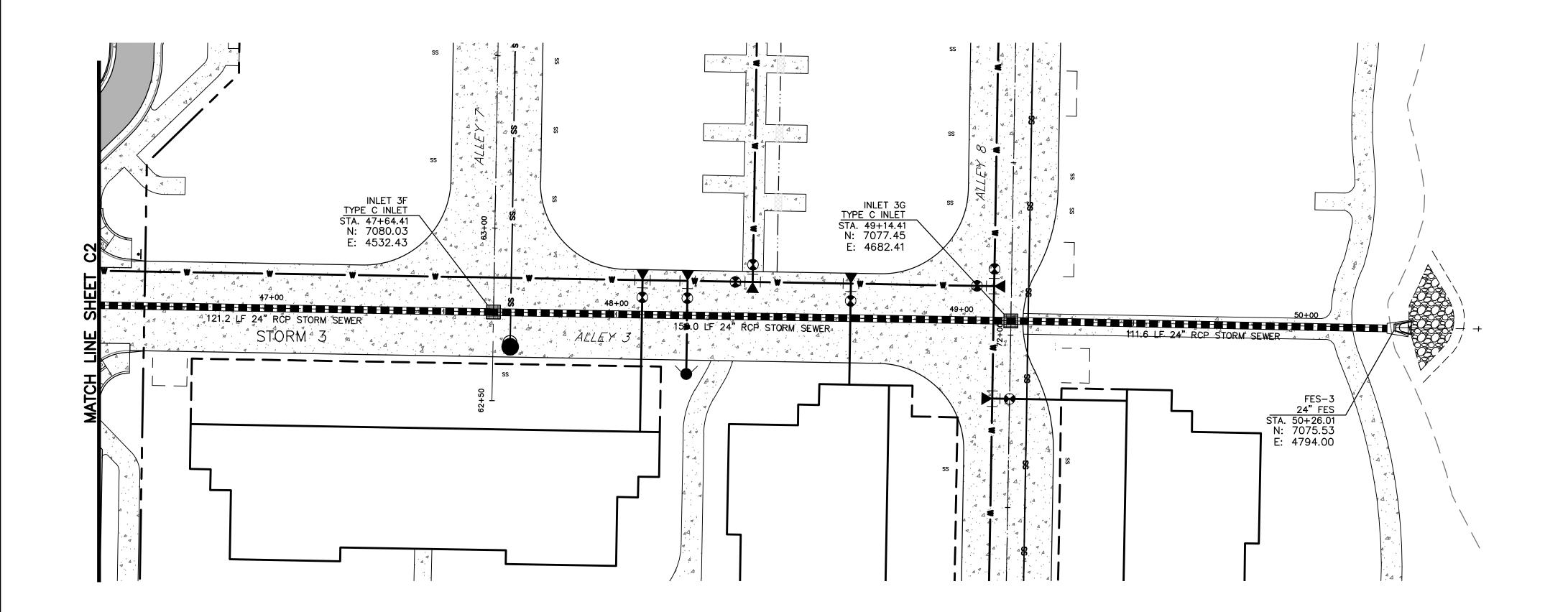
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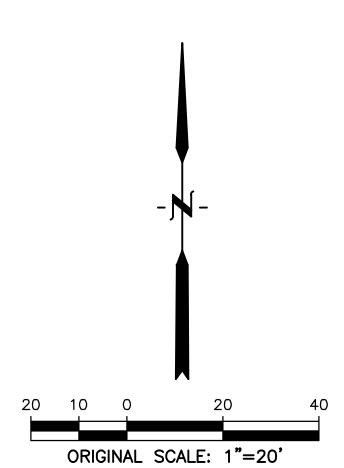
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SHEET TITLE: STORM 3A PROFILE

46

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5175

5170

5165

5160

5155

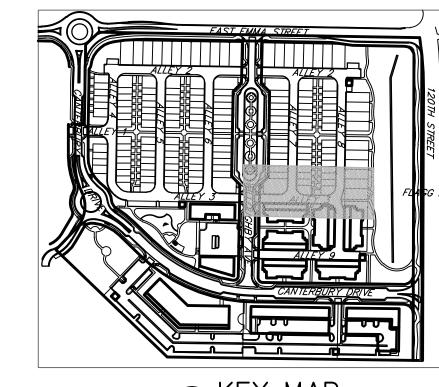
5150

ெ 5145

5140

50+79

50+00







### <u>LEGEND</u>

PROPERTY LINE
PROPOSED LOT LINE            PROPOSED ROW
EX. SANITARY SEWER ss
EX. WATER LINE w
EX. STORM LINE st st
EX. GAS LINE
EX. BURIED ELECTRIC LINE E
EX. OVERHEAD ELECTRIC LINE ou
EX. CABLE TV ctv
EX. FIRE HYDRANT
EX. WATER VALVE
EX. WATER METER
EX. MANHOLE
EX. LIGHT POLE
EX. UTILITY POLE
PROPOSED STORM SEWER
PROPOSED SANITARY SEWER
PROPOSED WATER LINE
PROPOSED FIRE HYDRANT
PROPOSED WATER VALVE
PROPOSED WATER METER
PROPOSED MANHOLE
PROPOSED STORM INLET
PROPOSED CONCRETE
PROPOSED ASPHALT

31 ——
EX. GAS LINE
EX. BURIED ELECTRIC LINE E
EX. OVERHEAD ELECTRIC LINE ou
EX. CABLE TV ctv —
EX. FIRE HYDRANT &
EX. WATER VALVE
EX. WATER METER
EX. MANHOLE
EX. LIGHT POLE
EX. UTILITY POLE
PROPOSED STORM SEWER
PROPOSED SANITARY SEWER
PROPOSED WATER LINE
PROPOSED FIRE HYDRANT
PROPOSED WATER VALVE
PROPOSED WATER METER
PROPOSED MANHOLE
PROPOSED STORM INLET

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DATE:

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SHEET TITLE: STORM 3B **PROFILE** 

46+50

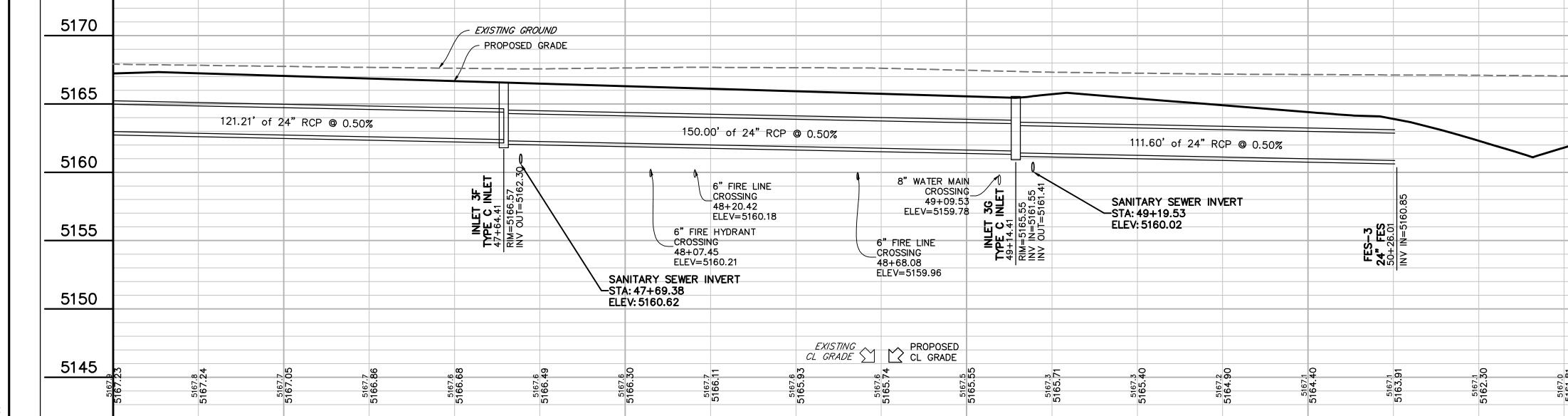
SCALE:

VERTICAL:

HORIZONTAL 1"=20"

1"= 5'

47+00



49+00

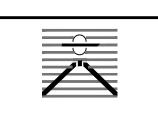
48+00

ORIGINAL SCALE: 1"=20'

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DATE: 03/27/2020 PRE PLAN

SHEET TITLE: STORM 5 & 6 **PROFILE** 

KEY MAP

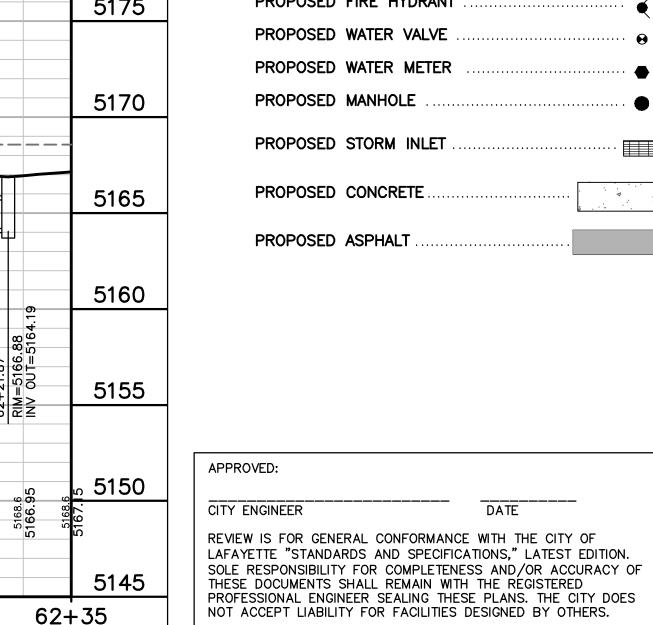
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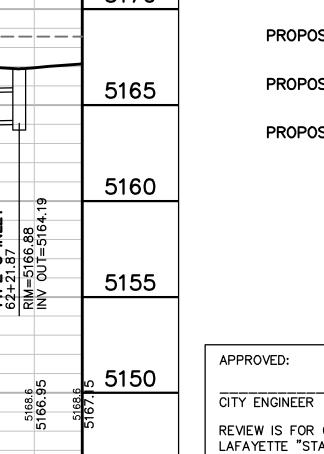


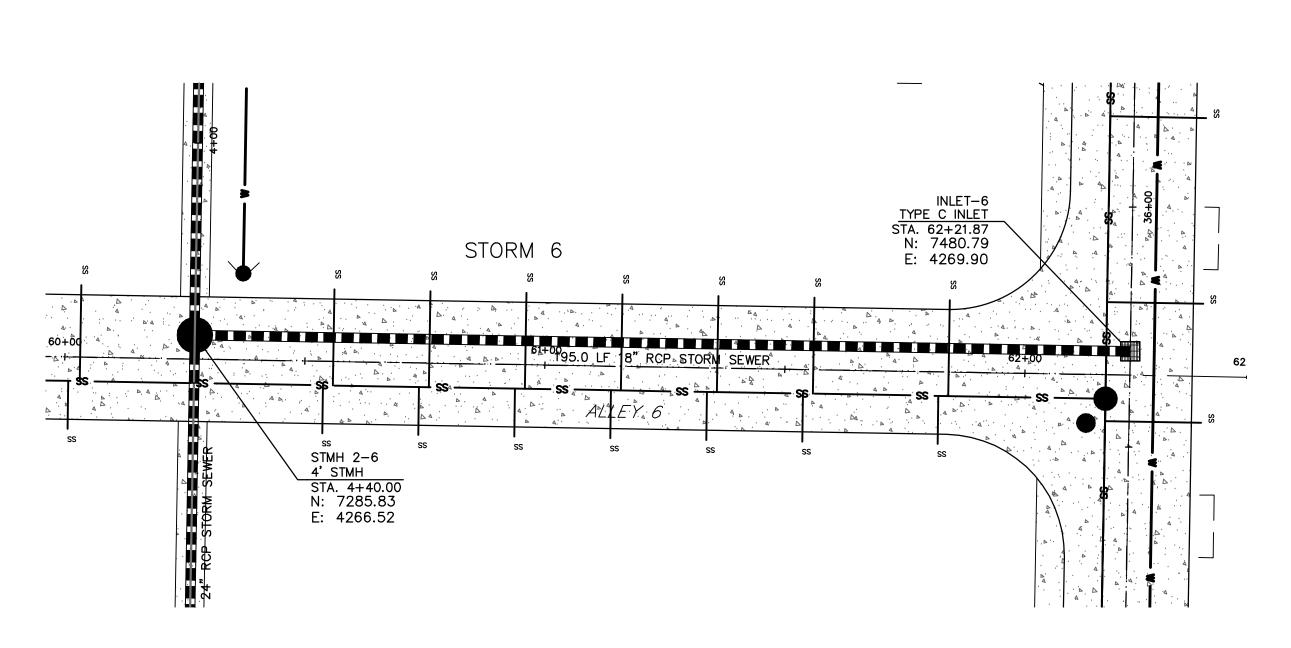


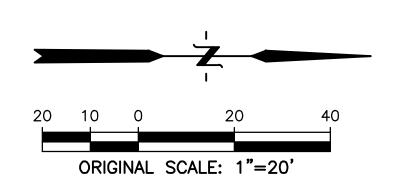
### <u>LEGEND</u>

PROPERTY LINE
PROPOSED LOT LINE
PROPOSED ROW
EX. SANITARY SEWER ss ——————————————————————————————
EX. WATER LINE w w
EX. STORM LINE stst
EX. GAS LINE
EX. BURIED ELECTRIC LINE E
EX. OVERHEAD ELECTRIC LINE ou
EX. CABLE TV ctv
EX. FIRE HYDRANT &
EX. WATER VALVE
EX. WATER METER
EX. MANHOLE
EX. LIGHT POLE
EX. UTILITY POLE
PROPOSED STORM SEWER
PROPOSED SANITARY SEWER
PROPOSED WATER LINE
PROPOSED FIRE HYDRANT
PROPOSED WATER VALVE
PROPOSED WATER METER
PROPOSED MANHOLE
PROPOSED STORM INLET
PROPOSED CONCRETE
PROPOSED ASPHALT







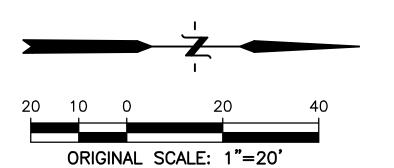


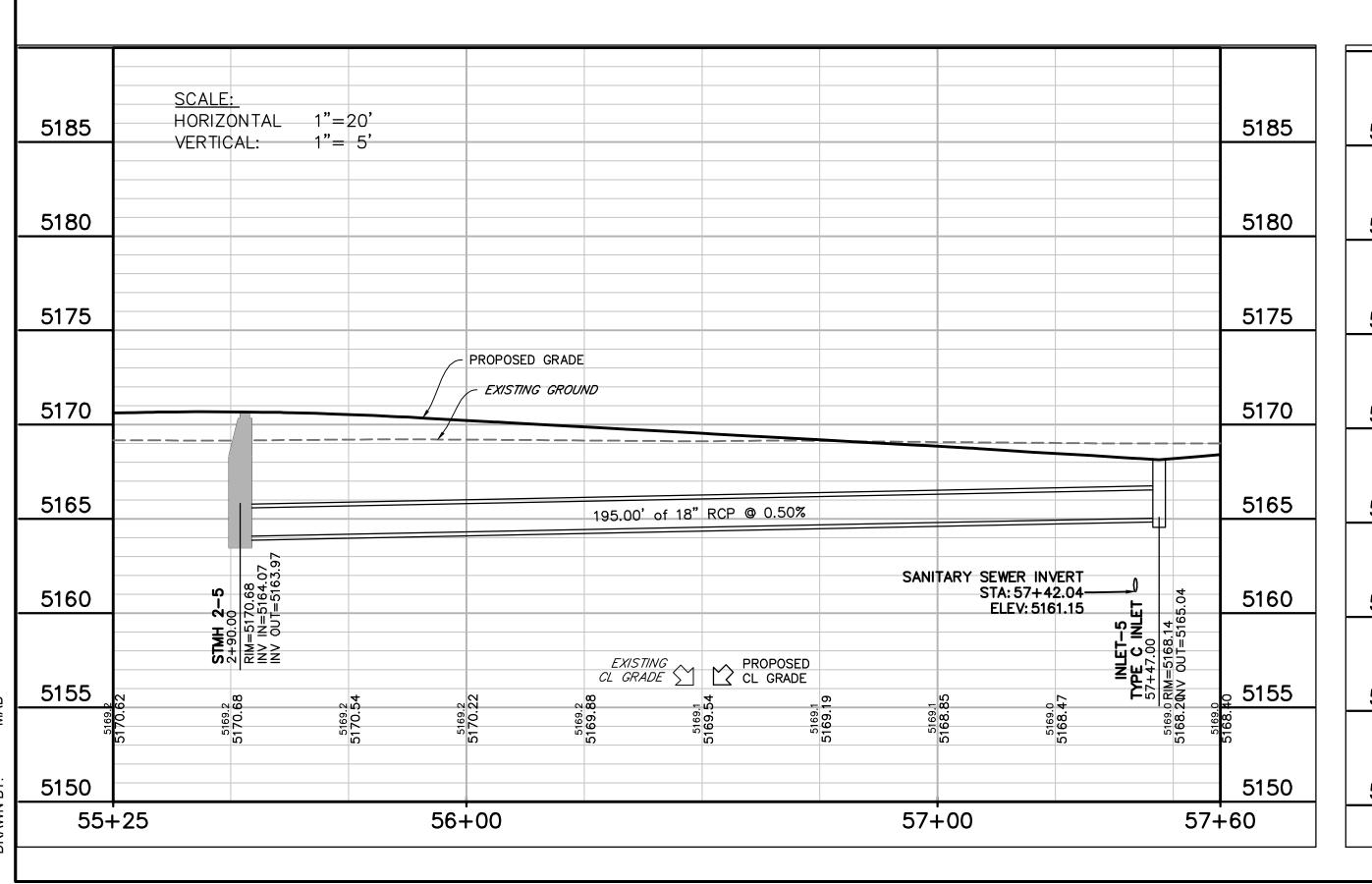
STORM 5

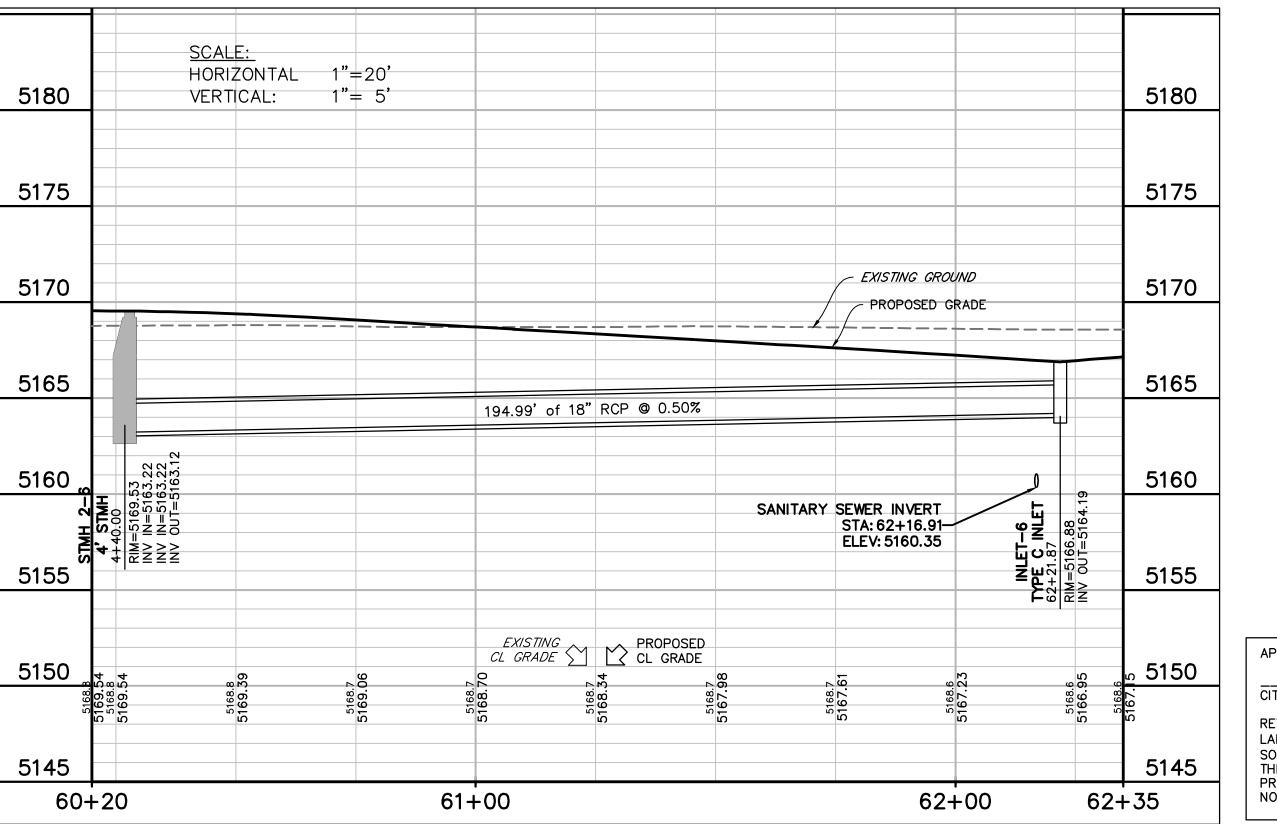
STMH 2-5 4' STMH STA. 2+90.00 N: 7288.40 E: 4116.54

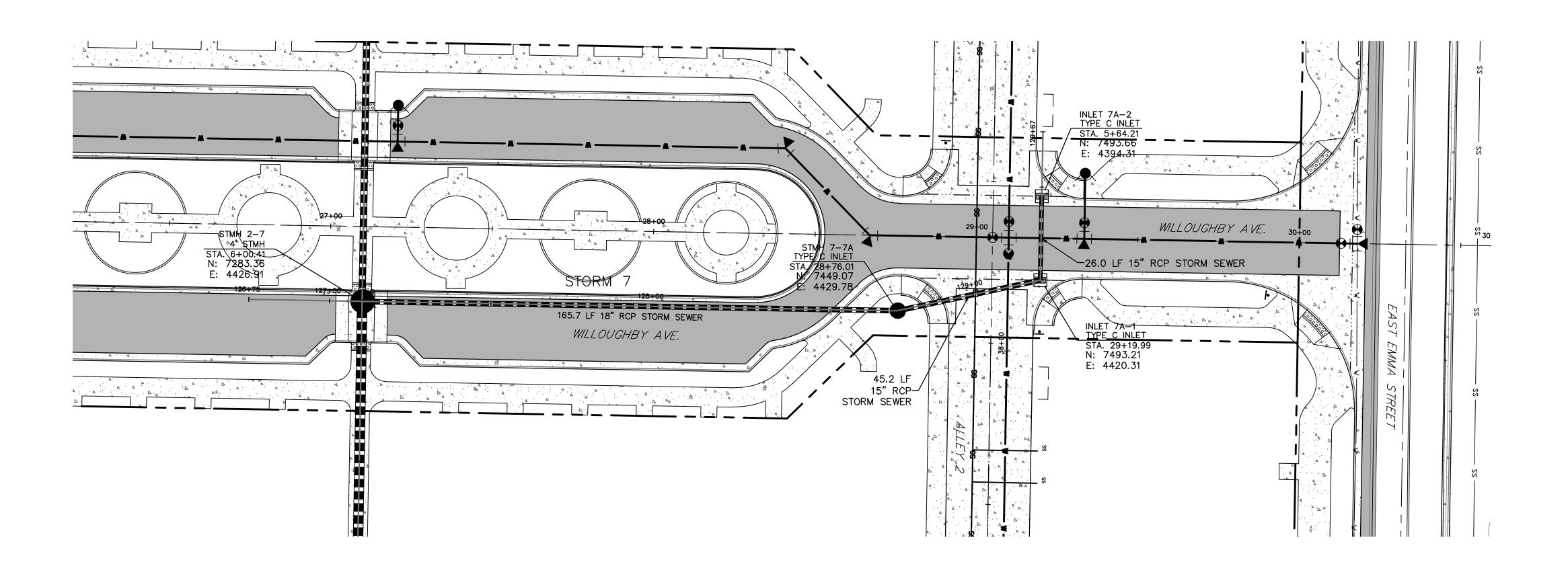
INLET-5 <u>TYPE C INLET</u> STA. 57+47.00 N: 7483.37 E: 4119.89

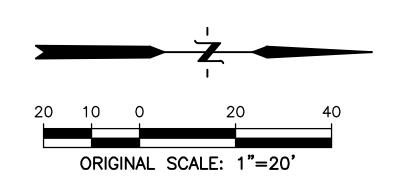
195.0 LF 8" RCP STORN SEWER 57#00

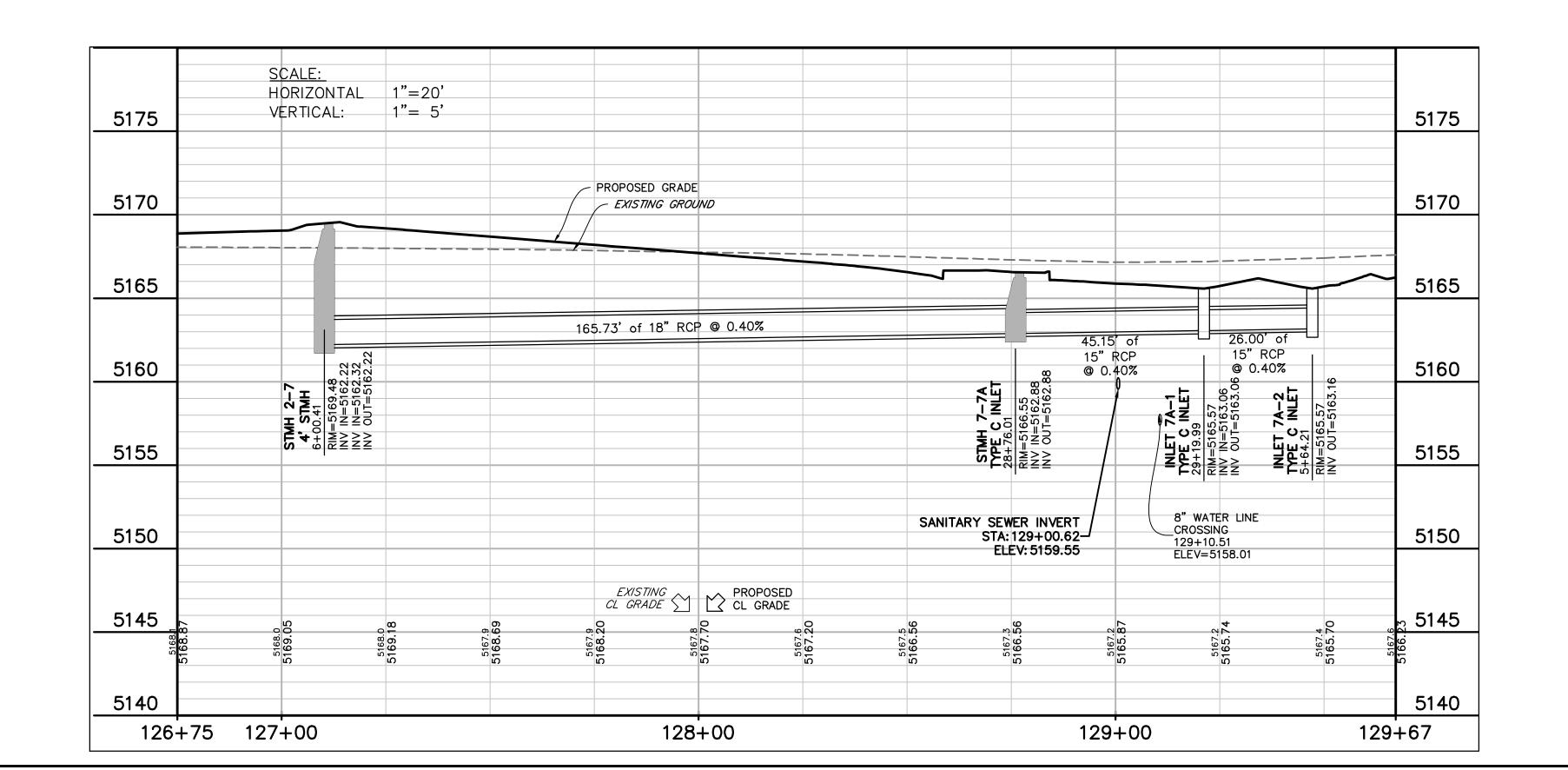


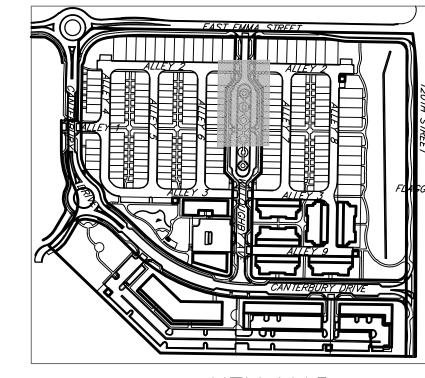
















PROPERTY LINE
PROPOSED LOT LINE            PROPOSED ROW
EX. SANITARY SEWERss
EX. WATER LINE ww
EX. STORM LINE st
EX. GAS LINE
EX. BURIED ELECTRIC LINE E
EX. OVERHEAD ELECTRIC LINE ou
EX. CABLE TV ctv
EX. FIRE HYDRANT &
EX. WATER VALVE
EX. WATER METER
EX. MANHOLE
EX. LIGHT POLE
EX. UTILITY POLE
PROPOSED STORM SEWER
PROPOSED SANITARY SEWER
PROPOSED WATER LINE
PROPOSED FIRE HYDRANT
PROPOSED WATER VALVE
PROPOSED WATER METER
PROPOSED MANHOLE
PROPOSED STORM INLET
PROPOSED CONCRETE
PROPOSED ASPHALT

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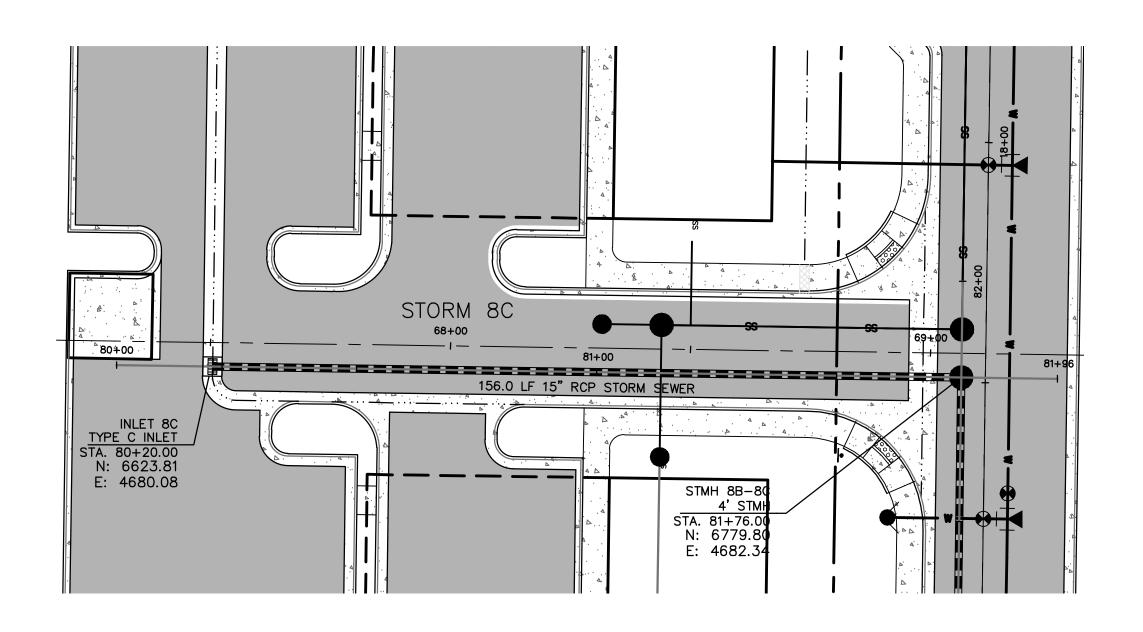
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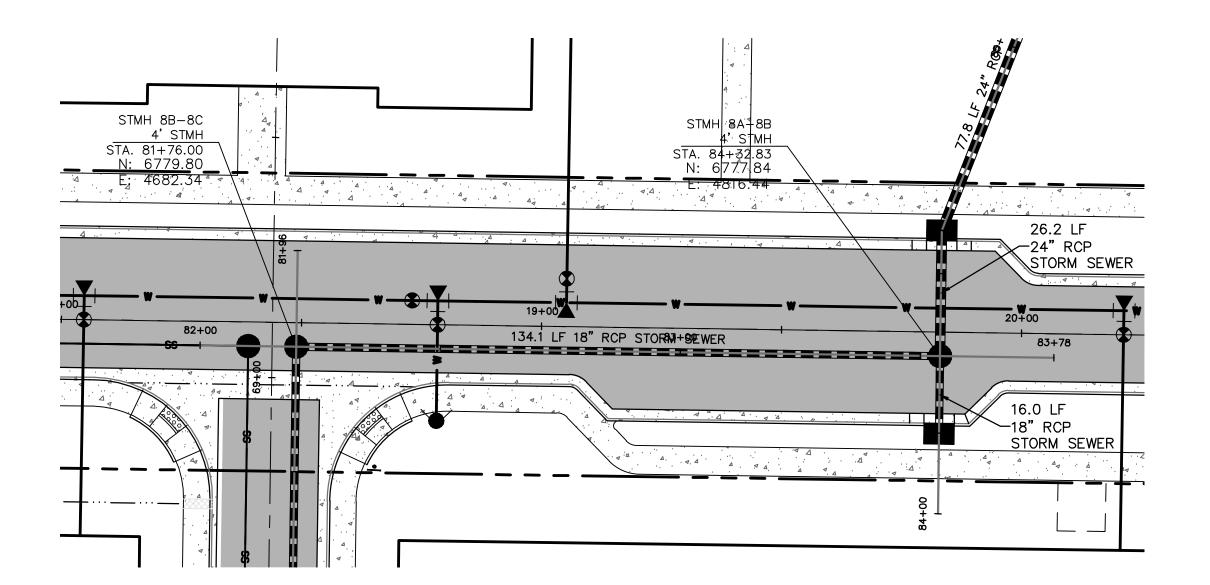
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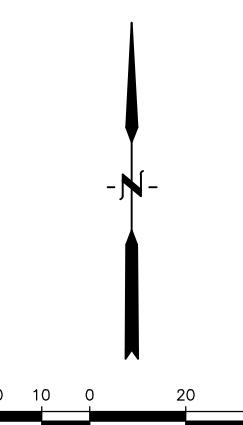
SHEET TITLE: STORM 7 PROFILE

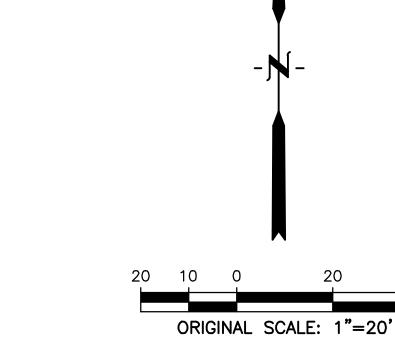
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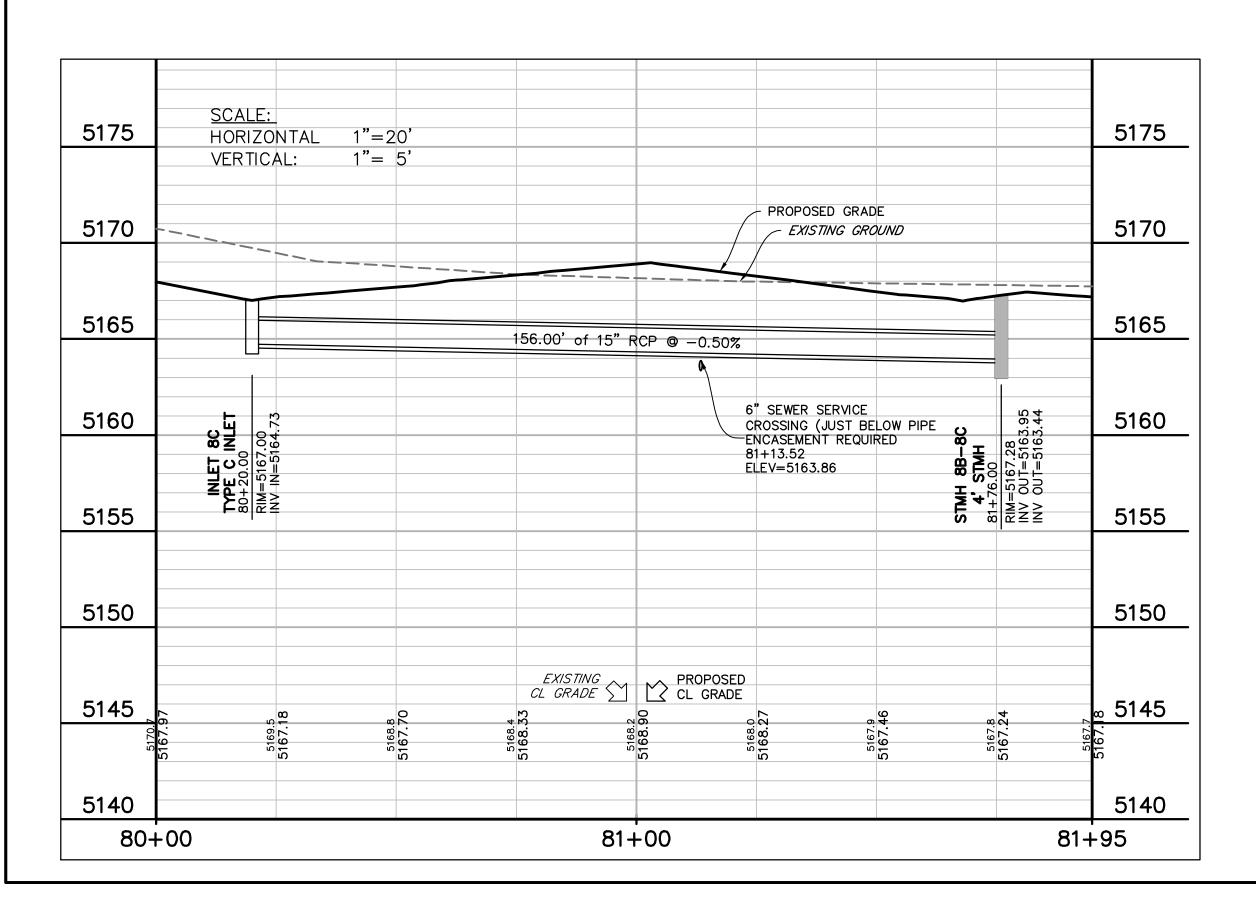
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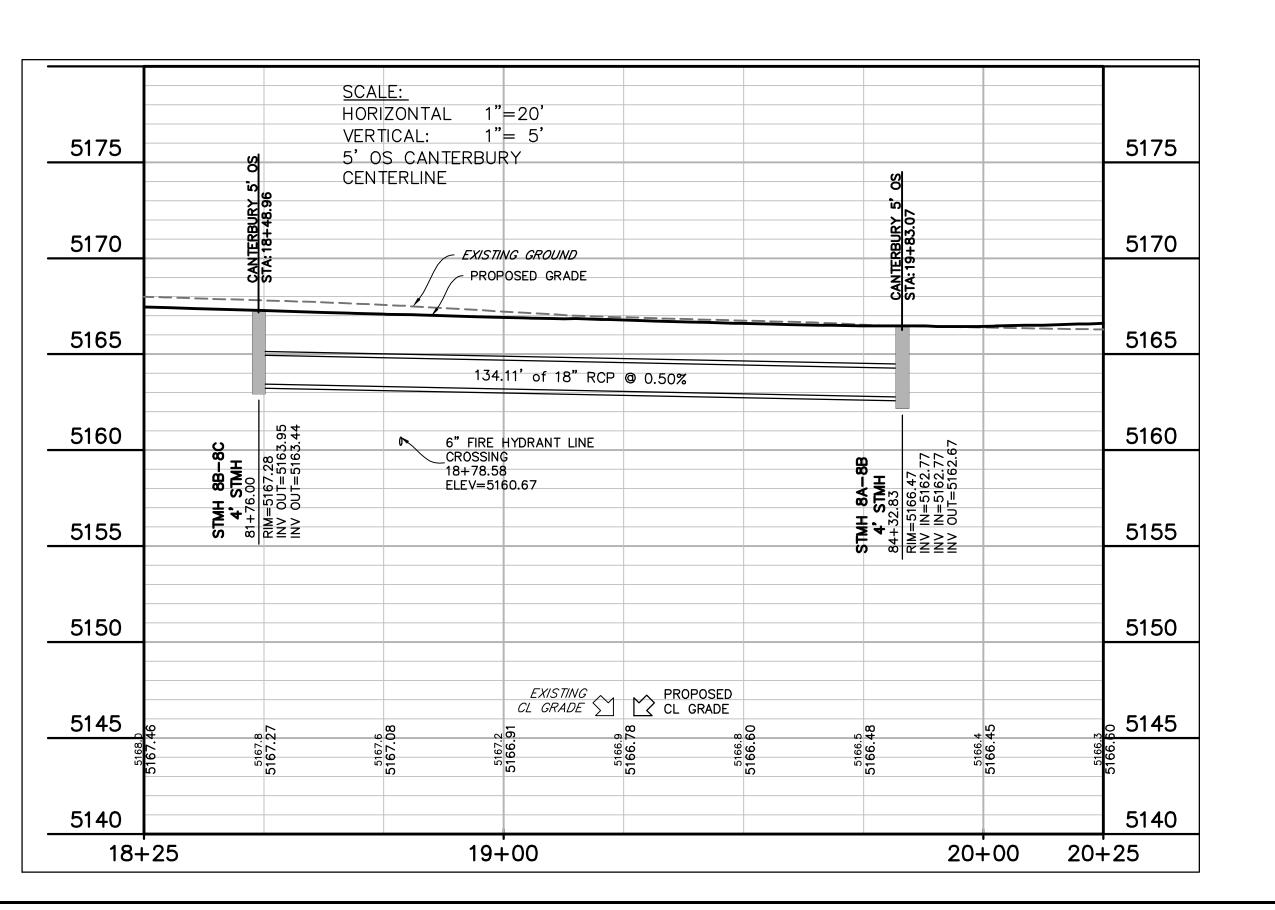


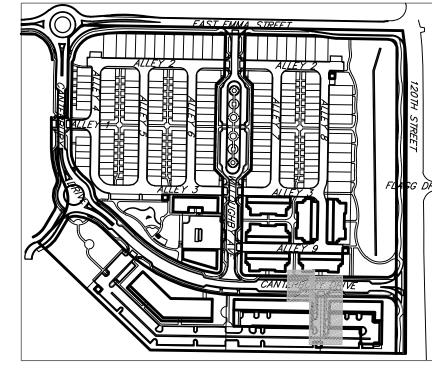






ORIGINAL SCALE: 1"=20'









### <u>LEGEND</u>

PROPERTY LINE
PROPOSED LOT LINE            PROPOSED ROW
EX. SANITARY SEWER ss
EX. WATER LINE w w
EX. STORM LINE st
EX. GAS LINE
EX. BURIED ELECTRIC LINE E
EX. OVERHEAD ELECTRIC LINE ou
EX. CABLE TV ctv
EX. FIRE HYDRANT &
EX. WATER VALVE
EX. WATER METER
EX. MANHOLE
EX. LIGHT POLE
EX. UTILITY POLE
PROPOSED STORM SEWER
PROPOSED SANITARY SEWER
PROPOSED WATER LINE
PROPOSED FIRE HYDRANT
PROPOSED WATER VALVE
PROPOSED WATER METER
PROPOSED MANHOLE
PROPOSED STORM INLET
PROPOSED CONCRETE
PROPOSED ASPHALT

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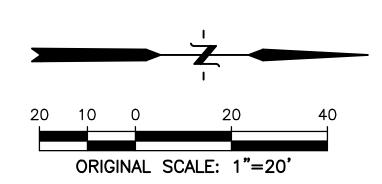
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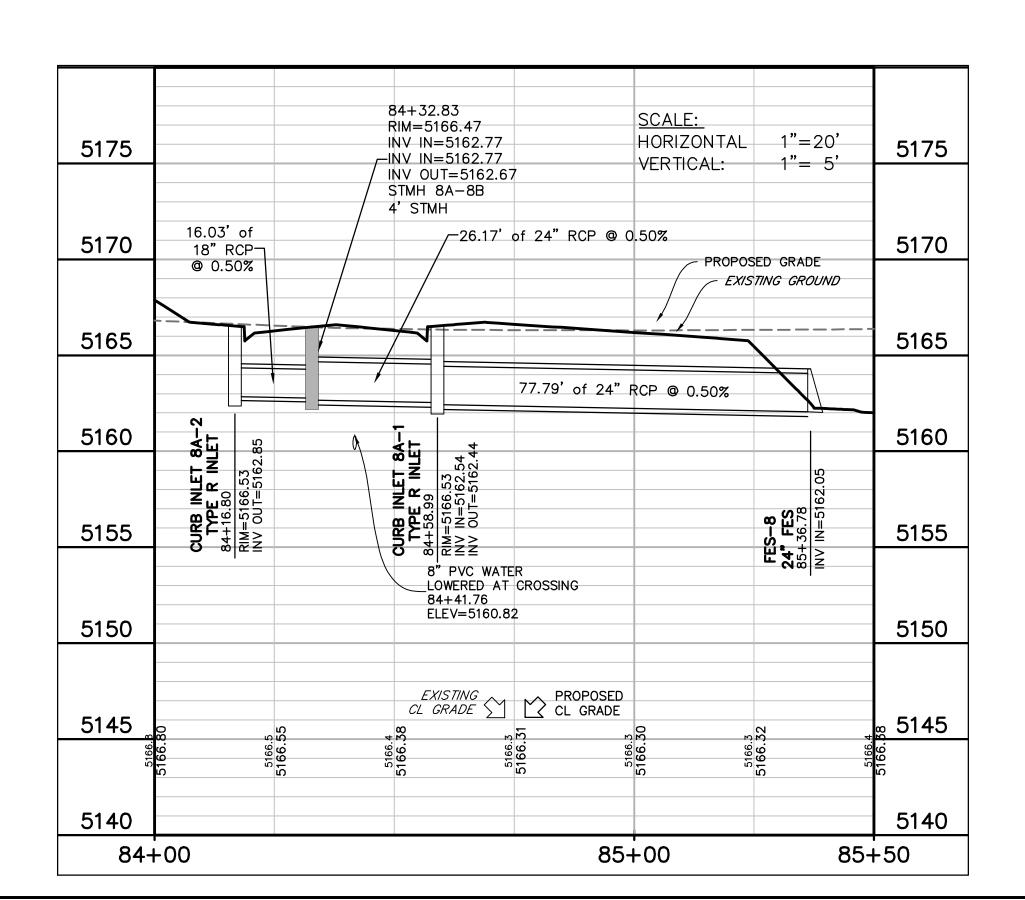
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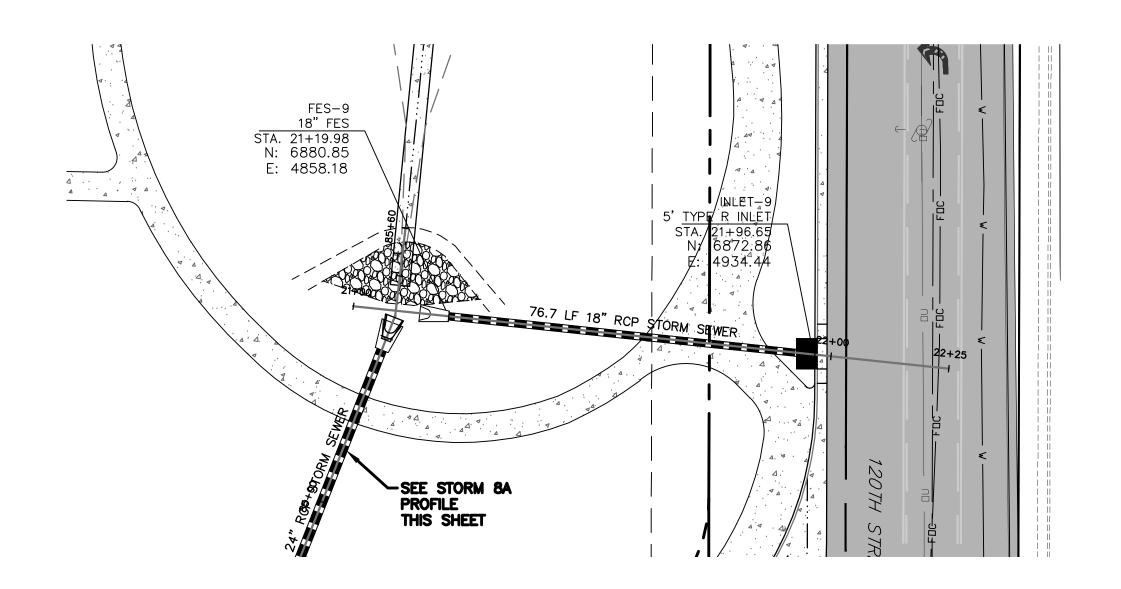
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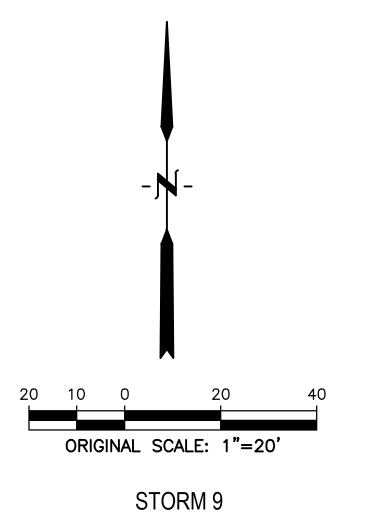
SHEET TITLE: STORM 8C &8B **PROFILE** 

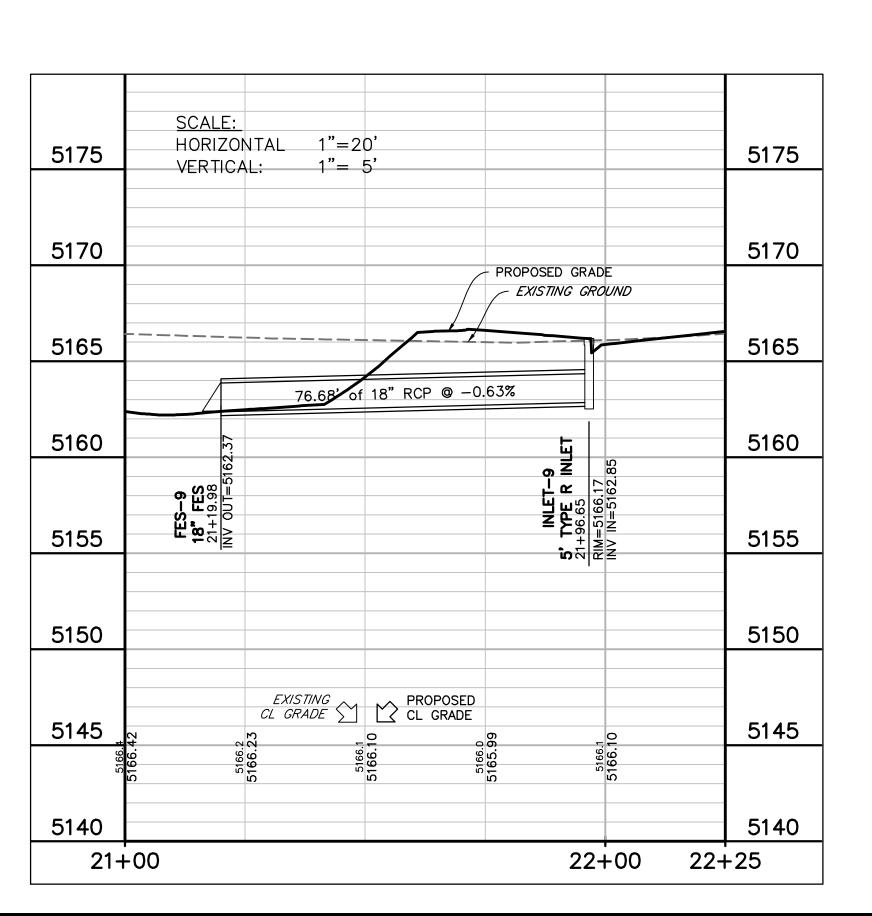


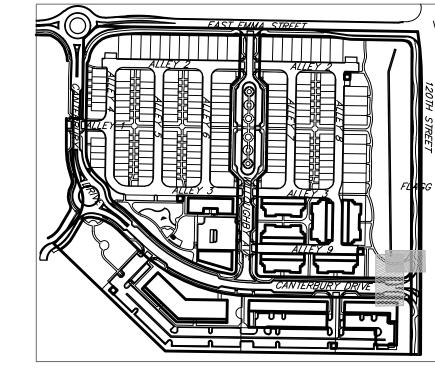
STORM 8A















PROPERTY LINE
PROPOSED LOT LINE PROPOSED ROW
EX. SANITARY SEWER ss
EX. WATER LINE w w
EX. STORM LINE st ——— st ———
EX. GAS LINE G
EX. BURIED ELECTRIC LINE E
EX. OVERHEAD ELECTRIC LINE ou
EX. CABLE TV ctv
EX. FIRE HYDRANT
EX. WATER VALVE
EX. WATER METER
EX. MANHOLE
EX. LIGHT POLE
EX. UTILITY POLE
PROPOSED STORM SEWER
PROPOSED SANITARY SEWER
PROPOSED WATER LINE
PROPOSED FIRE HYDRANT
PROPOSED WATER VALVE
PROPOSED WATER METER
PROPOSED MANHOLE
PROPOSED STORM INLET
PROPOSED CONCRETE
PROPOSED ASPHALT

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DATE: 03/27/2020 PRE PLAN

DRAFT

SHEET TITLE: STORM 8A & 9 PROFILE

51

20 10 0

SCALE:

PROPOSED GRADE

EXISTING GROUND -

5175

5170

5165

5160

5155

5150

5145

40+50

VERTICAL:

HORIZONTAL 1"=20'

1"= 5'

25.54' of

18" RCP-

**@** 0.50%

41+00

18" FES 18" FES 41+33.75 INV IN=5 5175

5170

5165

5160

5155

5150

5145

41+75

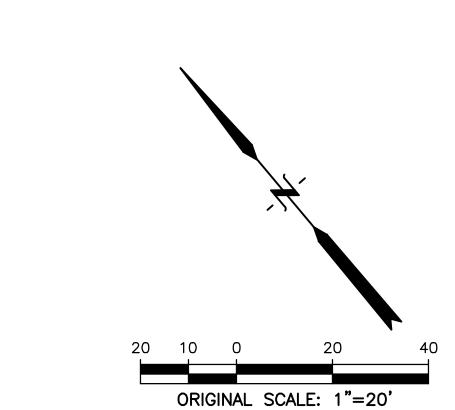
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EXISTING PROPOSED

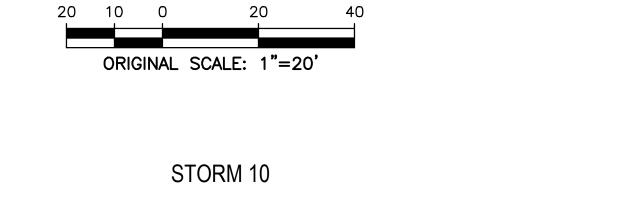
CL GRADE CL GRADE

ORIGINAL SCALE: 1"=20'

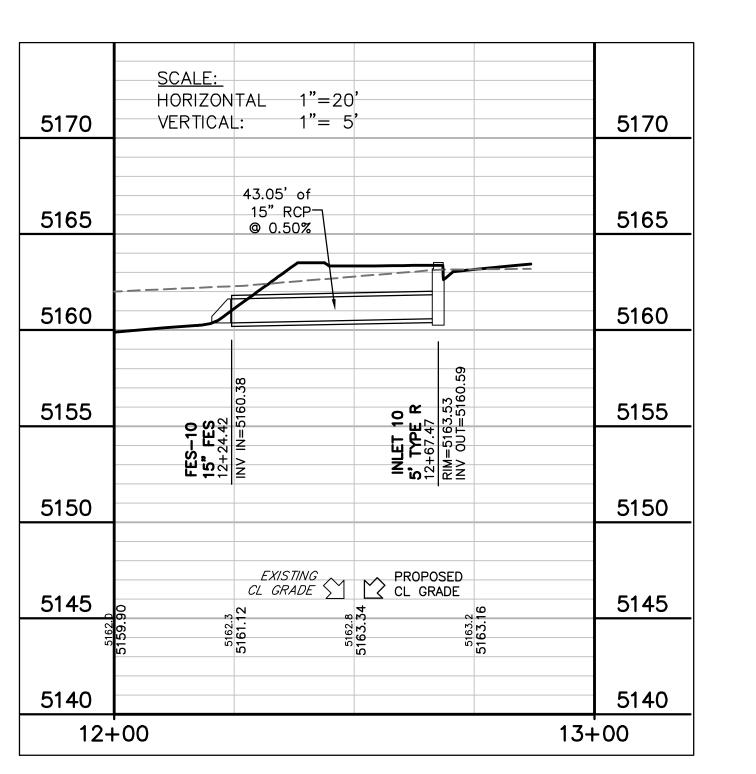
STORM 4

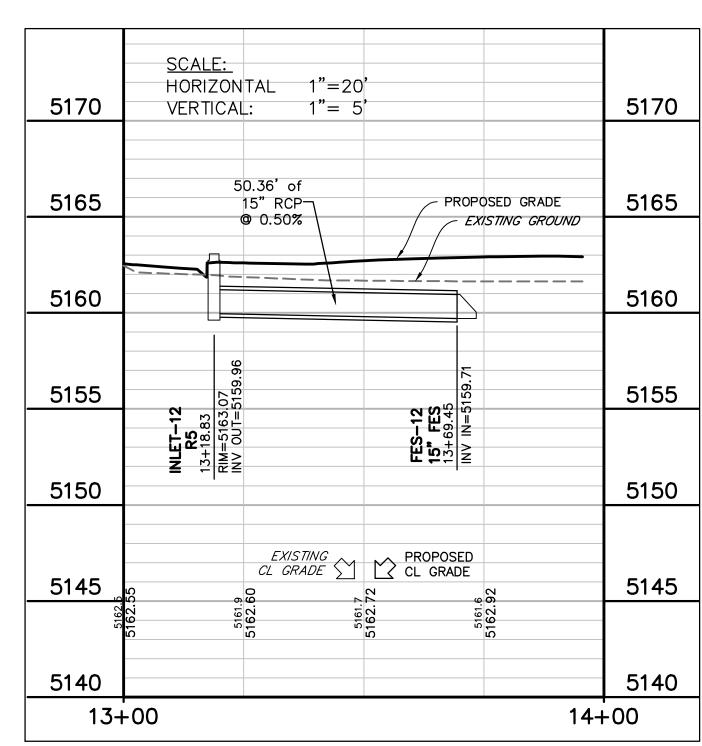


FES-10 15" FES STA. 12+24.42 N: 7462.89 E: 4901.28



\$' TYPE R STA. 12+67.47 N: 7436.77 E: 4935.51





ORIGINAL SCALE: 1"=20'

STORM 12

15" RCP-

TA. 13+18.83 N: 7573.43 E: 4694.69







### <u>LEGEND</u>

PROPERTY LINE
PROPOSED LOT LINE            PROPOSED ROW
EX. SANITARY SEWER ss
EX. WATER LINE w w
EX. STORM LINE st — st — st —
EX. GAS LINE
EX. BURIED ELECTRIC LINE E
EX. OVERHEAD ELECTRIC LINE ou
EX. CABLE TV ctv
EX. FIRE HYDRANT
EX. WATER VALVE
EX. WATER METER
EX. MANHOLE
EX. LIGHT POLE
EX. UTILITY POLE
PROPOSED STORM SEWER
PROPOSED SANITARY SEWER
PROPOSED WATER LINE
PROPOSED FIRE HYDRANT
PROPOSED WATER VALVE
PROPOSED WATER METER
PROPOSED MANHOLE
PROPOSED STORM INLET
PROPOSED CONCRETE
PROPOSED ASPHALT

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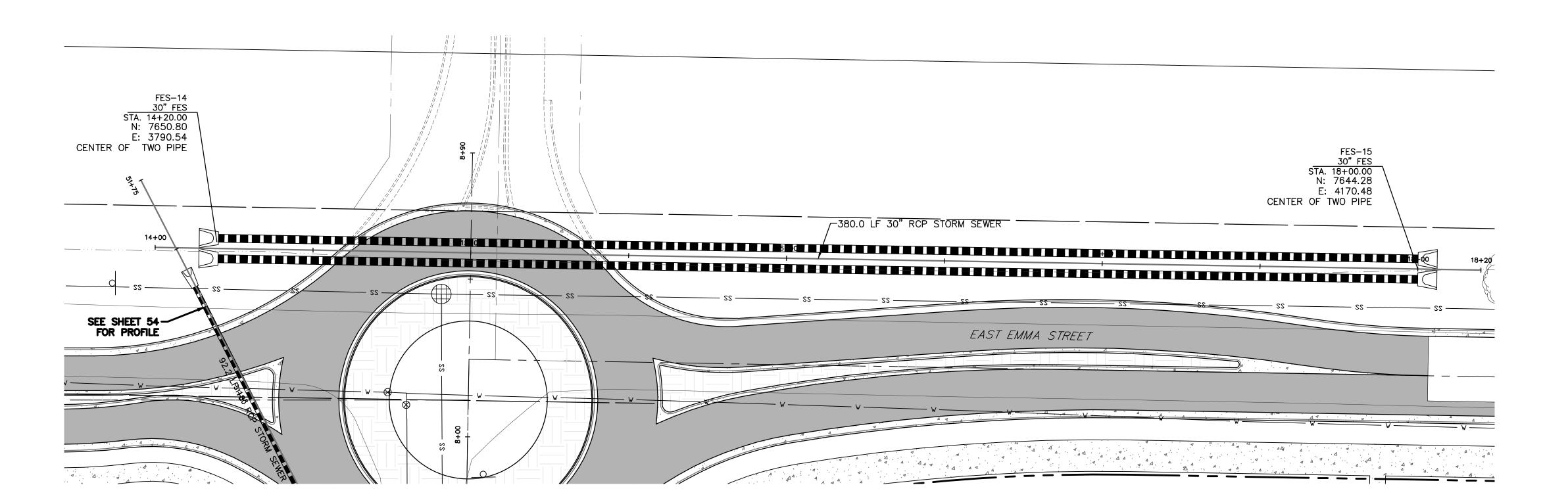
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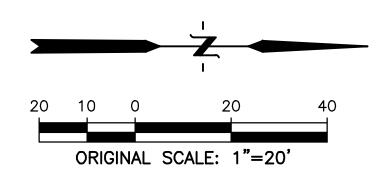
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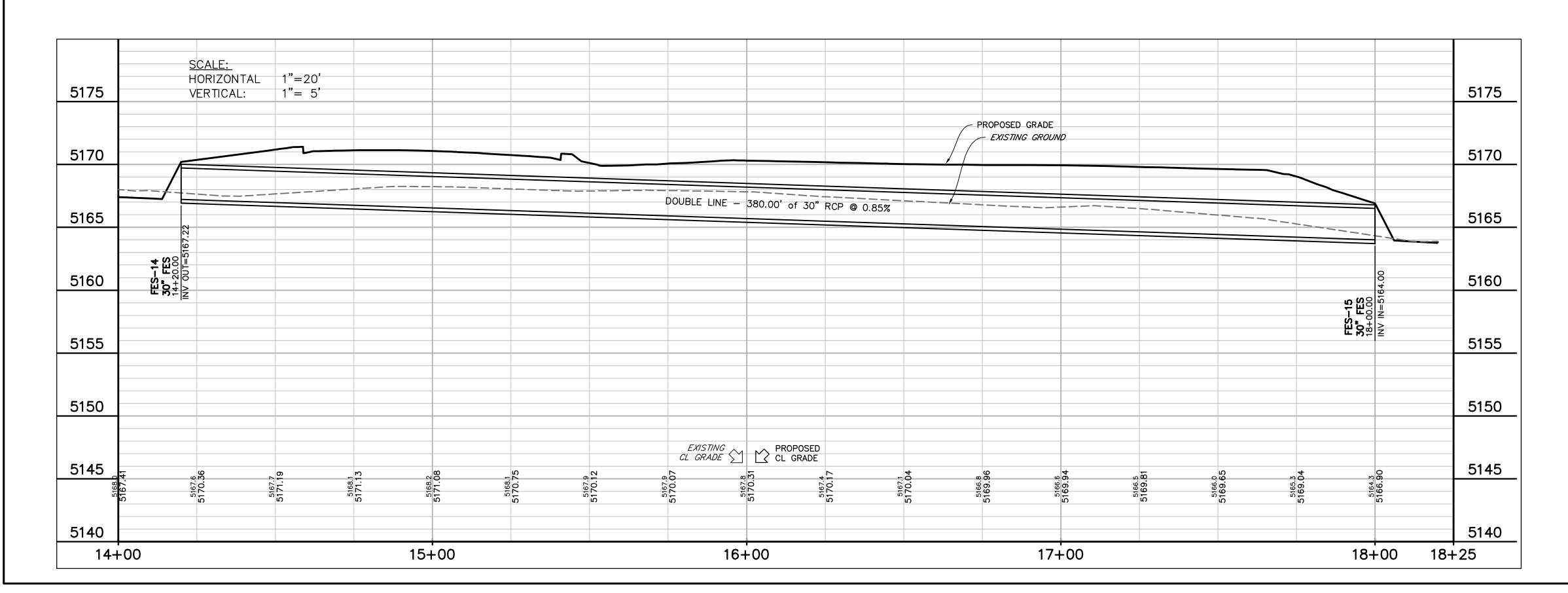
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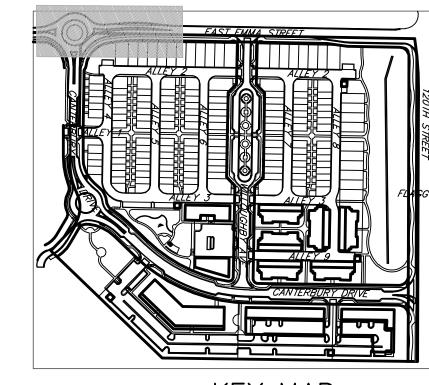
52

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PROPERTY LINE
PROPOSED LOT LINE            PROPOSED ROW
EX. SANITARY SEWER ss
EX. WATER LINE w w
EX. STORM LINE st st
EX. GAS LINE
EX. BURIED ELECTRIC LINE E
EX. OVERHEAD ELECTRIC LINE ou
EX. CABLE TV ctv
EX. FIRE HYDRANT
EX. WATER VALVE
EX. WATER METER
EX. MANHOLE
EX. LIGHT POLE
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PROPOSED STORM SEWER
PROPOSED SANITARY SEWER
PROPOSED WATER LINE
PROPOSED FIRE HYDRANT
PROPOSED WATER VALVE
PROPOSED WATER METER
PROPOSED MANHOLE
PROPOSED STORM INLET
PROPOSED CONCRETE
PROPOSED ASPHALT

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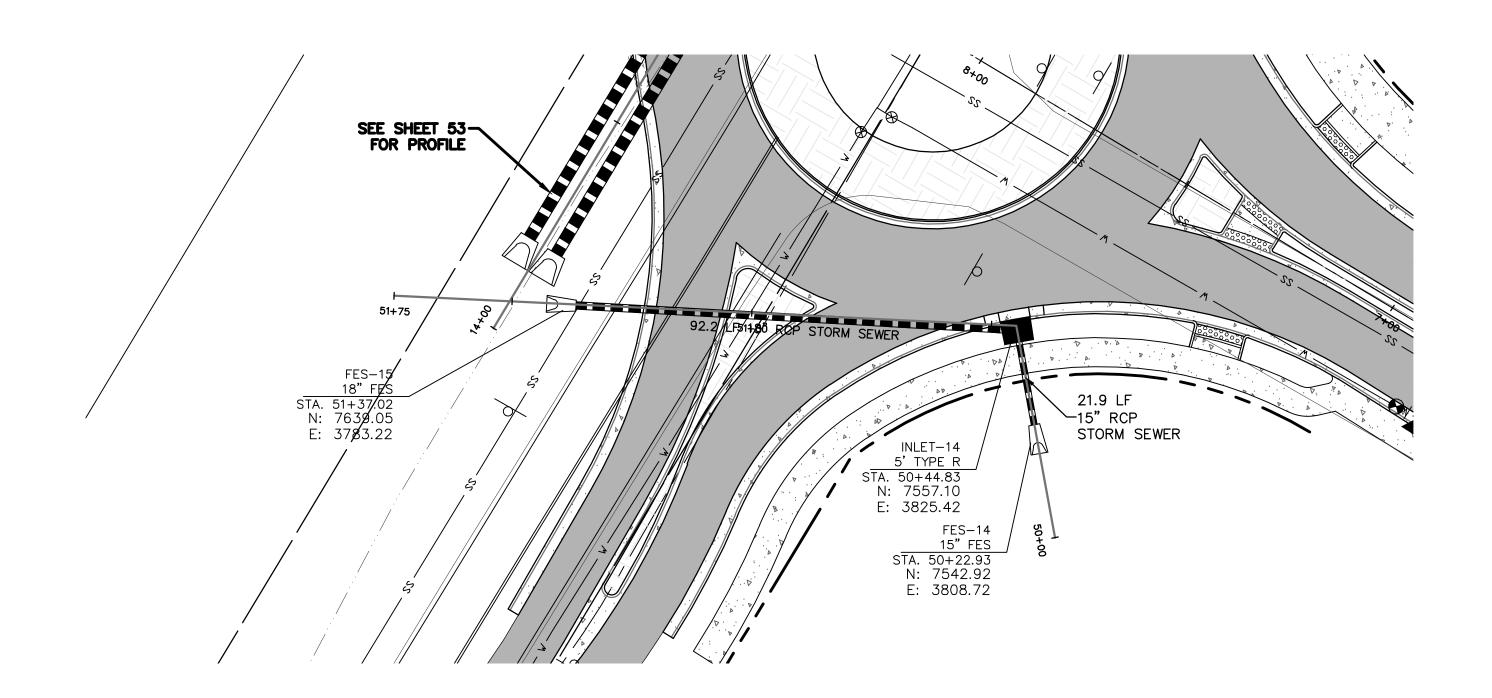
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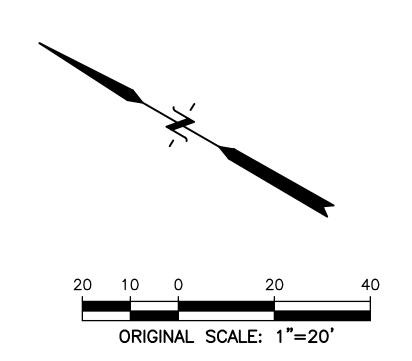
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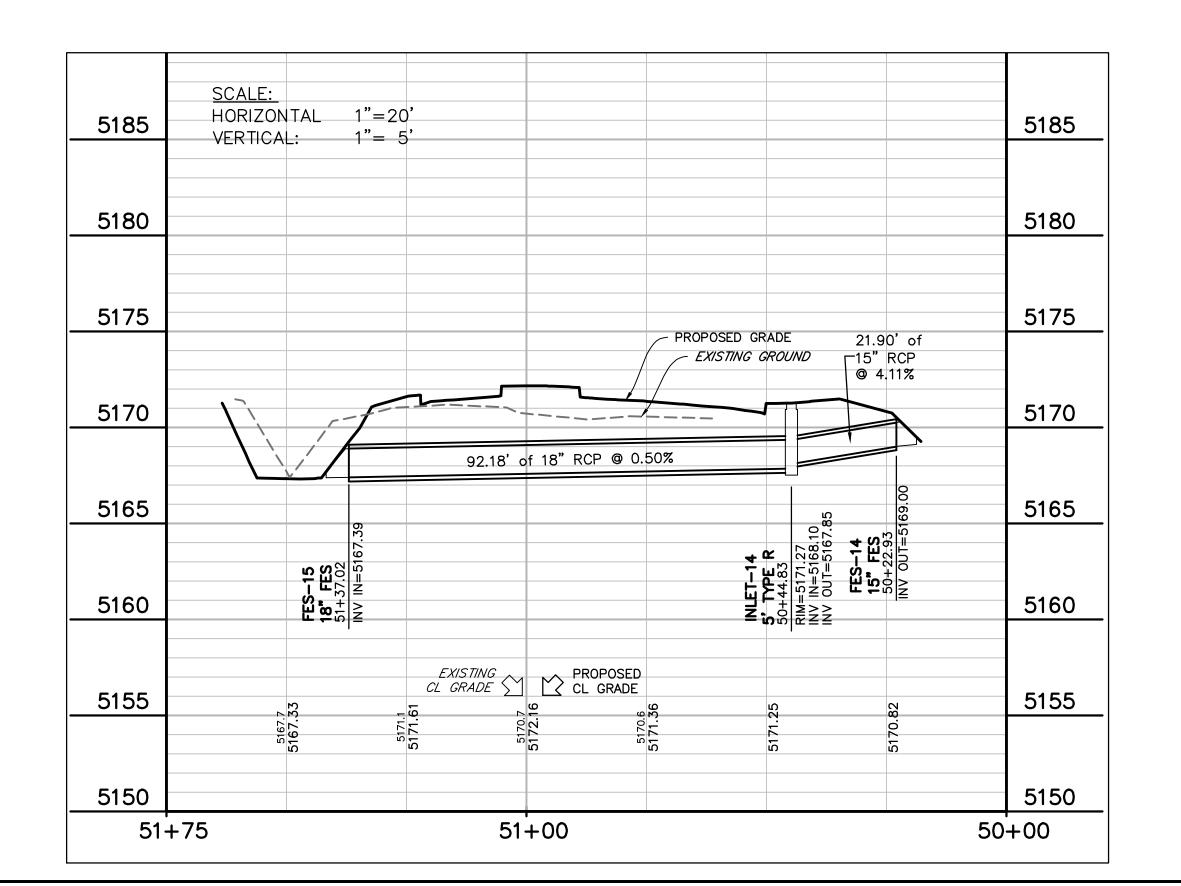
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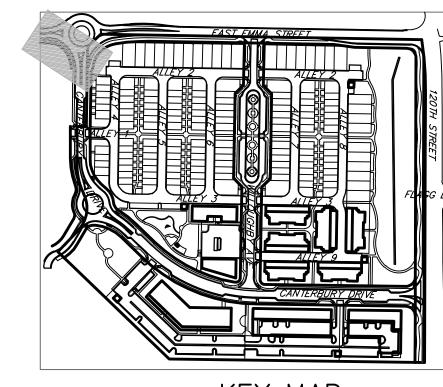
53

CKED BY: CV













PROPERTY LINE
PROPOSED LOT LINE            PROPOSED ROW
EX. SANITARY SEWER ss
EX. WATER LINE w
EX. STORM LINE stst
EX. GAS LINE
EX. BURIED ELECTRIC LINE E
EX. OVERHEAD ELECTRIC LINE ou
EX. CABLE TV ctv
EX. FIRE HYDRANT
EX. WATER VALVE
EX. WATER METER
EX. MANHOLE
EX. LIGHT POLE
EX. UTILITY POLE
PROPOSED STORM SEWER
PROPOSED SANITARY SEWER
PROPOSED WATER LINE
PROPOSED FIRE HYDRANT
PROPOSED WATER VALVE
PROPOSED WATER METER
PROPOSED MANHOLE
PROPOSED STORM INLET
PROPOSED CONCRETE
PROPOSED ASPHALT

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Engineers • Surveyors
1800 38th STREET
BOULDER, COLORADO 80301
CONTACT: CAMERON KNAPP, P.E.
(303) 442-4338 NOT FOR

CONSTRUCTION

DATE: 03/27/2020 PRE PLAN

SHEET TITLE: STORM 14 PROFILE

55

KEY MAP

NOT TO SCALE

ORIGINAL SCALE: 1"=20'

<u>LEGEND</u>

PROPOSED SPOT ELEVATION ......imes imes imes (all C&G elevations are flowline unless otherwise noted)

.

 $\times^{56.23\pm}$ 

PROPERTY LINE...

PROPOSED ROW..

PROPOSED LOT LINE.

PROPOSED MANHOLE

PROPOSED STORM INLET

PROPOSED STORM SEWER

PROPOSED CONCRETE.

PROPOSED ASPHALT.

EX. SPOT ELEVATIONS.

TOP BACK OF CURB.

HIGH POINT.

LOW POINT ..

FLOWLINE.

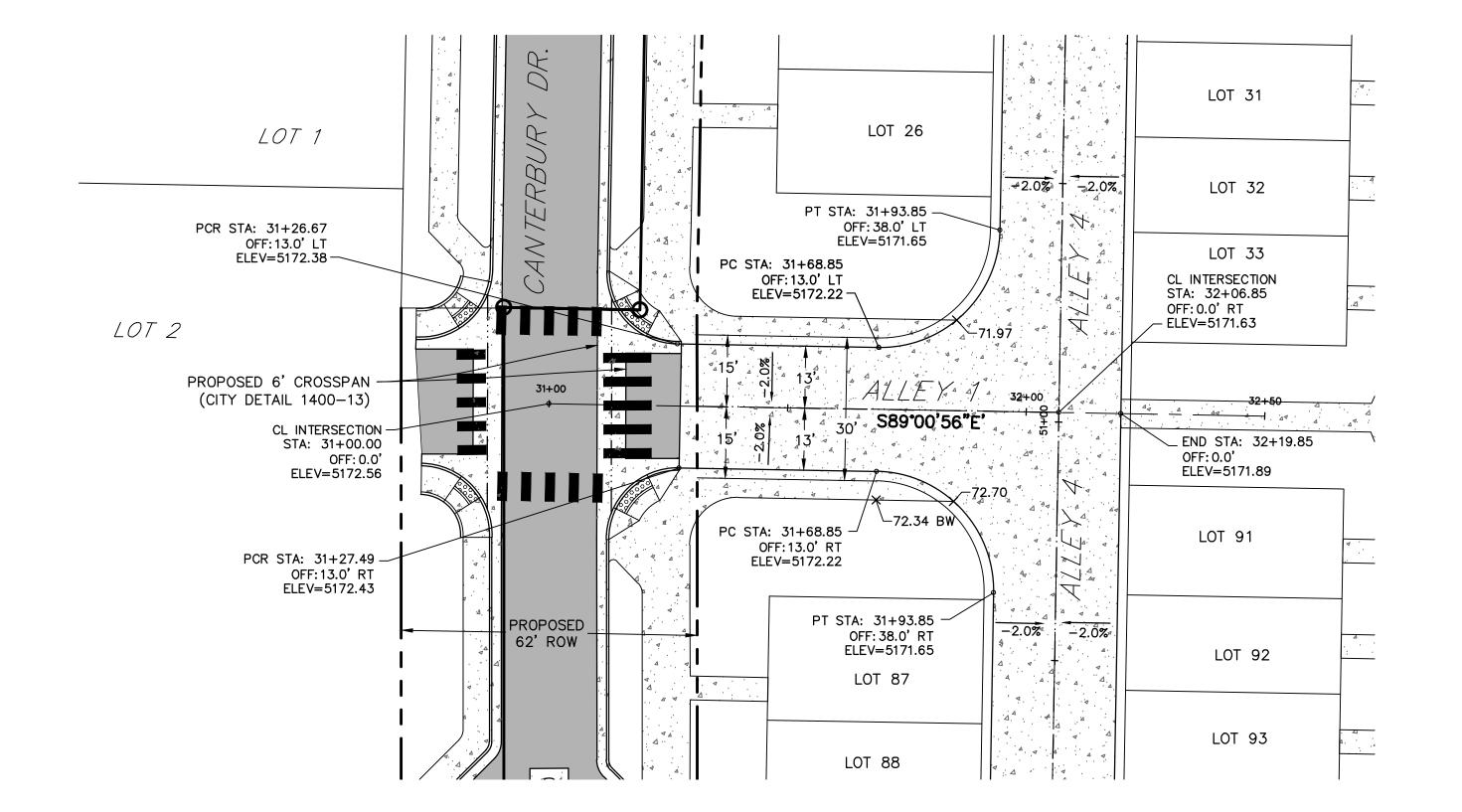
NOTE:

GRADE BREAK

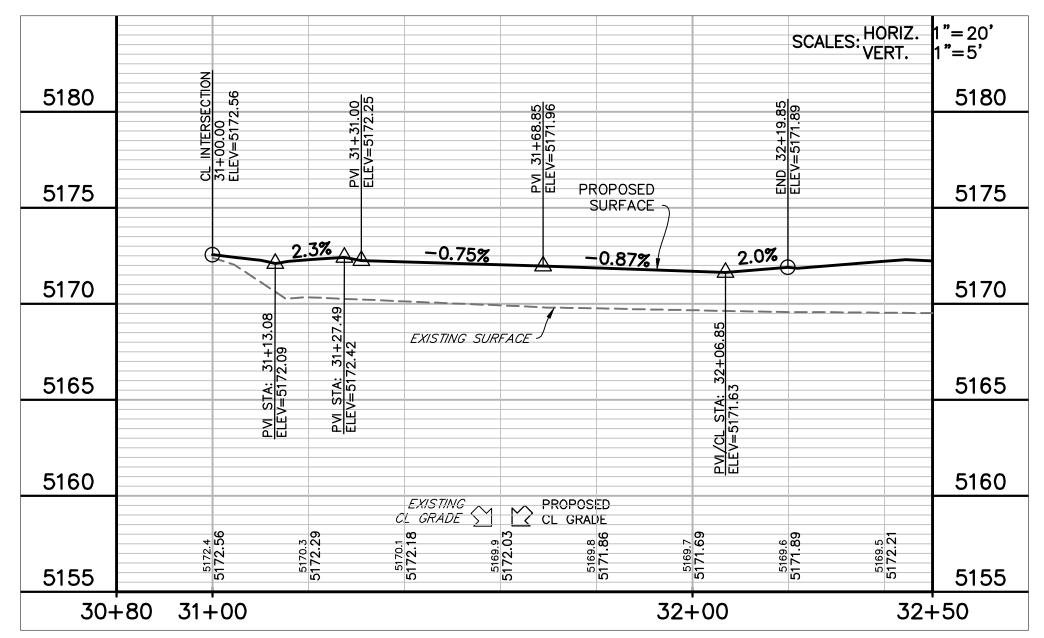
BACK OF WALK

1. ADD 5100 TO ALL SPOT ELEVATIONS

APPROVED:

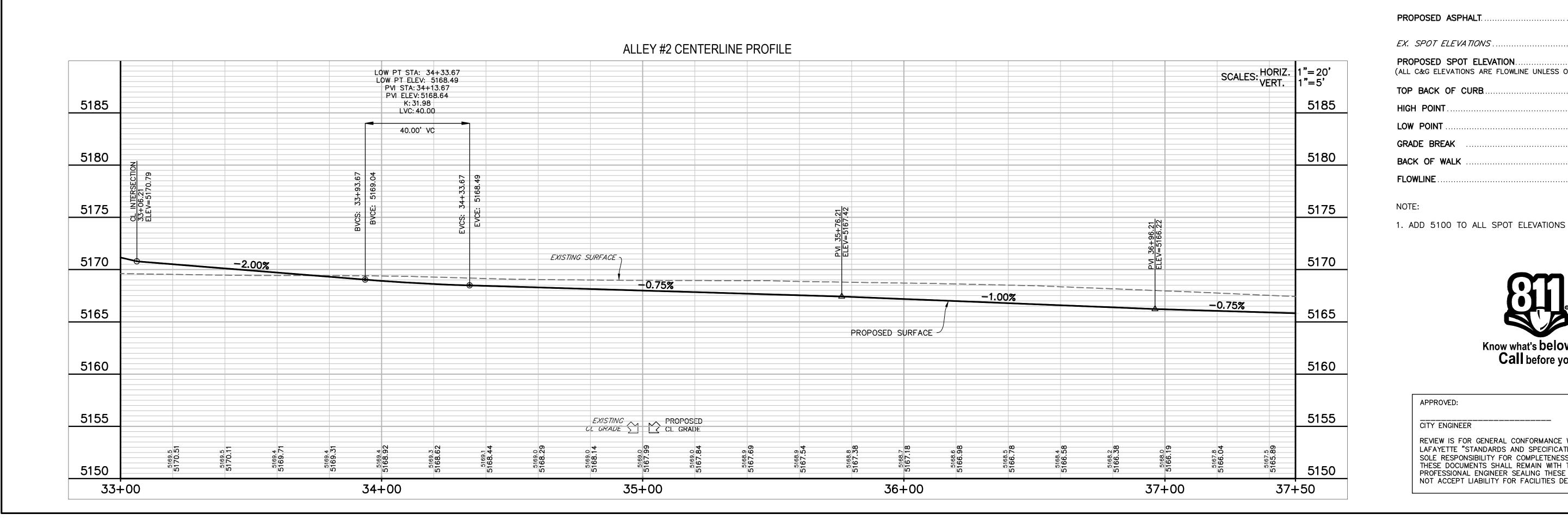


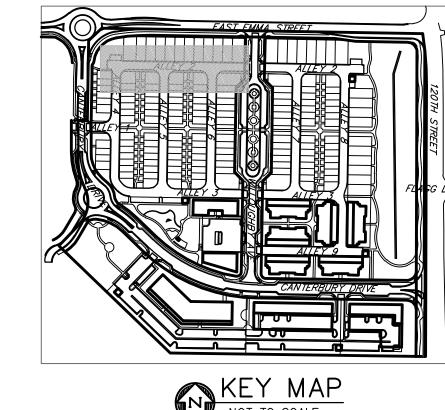
### ALLEY #1 CENTERLINE PROFILE



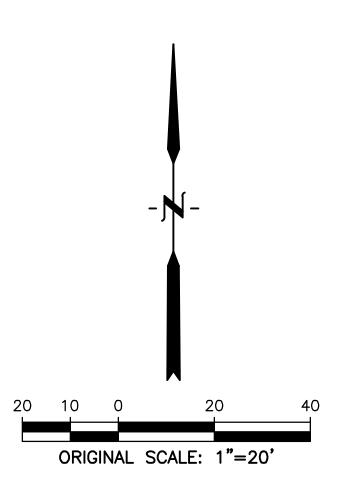


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PROPERTY LINE	_
PROPOSED ROW	_
PROPOSED LOT LINE	_
PROPOSED MANHOLE	
PROPOSED STORM INLET	
PROPOSED STORM SEWER	
PROPOSED CONCRETE	. 4
PROPOSED ASPHALT	
EX. SPOT ELEVATIONS $\times^{56.23\pm}$	
PROPOSED SPOT ELEVATION	6.23
TOP BACK OF CURB TC	
HIGH POINT HP	
LOW POINT LP	
GRADE BREAK GB	
BACK OF WALK BW	
FLOWLINE FL	



APPROVED:	
CITY ENGINEER	DATE
LAFAYETTE "STANDARDS AND	NFORMANCE WITH THE CITY OF SPECIFICATIONS," LATEST EDITION.
	OMPLETENESS AND/OR ACCURACY OF EMAIN WITH THE REGISTERED
	ALING THESE PLANS. THE CITY DOES

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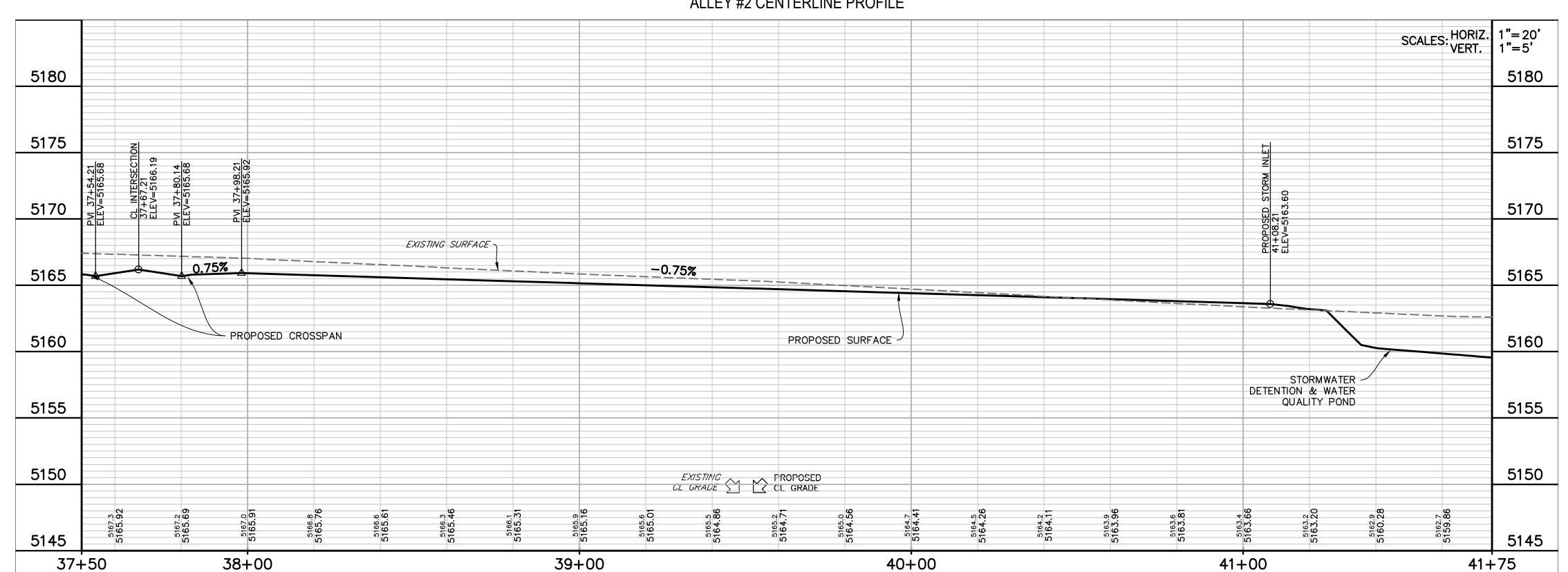
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BOULDER, COLORADO 80301
CONTACT: CAMERON KNAPP, P.E.
(303) 442-4338

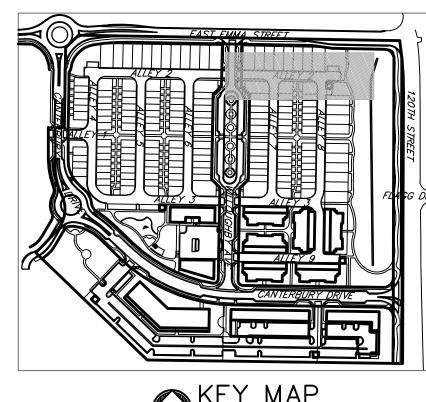
NOT FOR CONSTRUCTION

DATE:

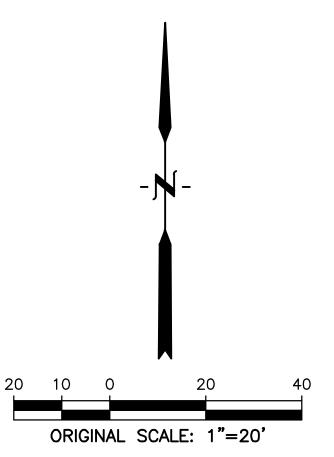
SHEET TITLE: ALLEY #2 PLAN & PROFILE

### ALLEY #2 CENTERLINE PROFILE









### <u>LEGEND</u>

PROPOSED ROW	PROPERTY LINE
PROPOSED STORM INLET  PROPOSED STORM SEWER  PROPOSED CONCRETE  PROPOSED ASPHALT.  EX. SPOT ELEVATIONS	PROPOSED ROW
PROPOSED STORM SEWER  PROPOSED CONCRETE  PROPOSED ASPHALT.  EX. SPOT ELEVATIONS	PROPOSED LOT LINE
PROPOSED STORM SEWER  PROPOSED CONCRETE  PROPOSED ASPHALT.  EX. SPOT ELEVATIONS	PROPOSED MANHOLE
PROPOSED CONCRETE  PROPOSED ASPHALT.  EX. SPOT ELEVATIONS	PROPOSED STORM INLET
PROPOSED ASPHALT.  EX. SPOT ELEVATIONS	
EX. SPOT ELEVATIONS	PROPOSED CONCRETE
PROPOSED SPOT ELEVATION	PROPOSED ASPHALT
(ALL C&G ELEVATIONS ARE FLOWLINE UNLESS OTHERWISE NOTED)  TOP BACK OF CURB	EX. SPOT ELEVATIONS $ imes^{56.23\pm}$
HIGH POINT HP  LOW POINT LP  GRADE BREAK GB  BACK OF WALK BW	
LOW POINT LP  GRADE BREAK GB  BACK OF WALK BW	PROPOSED SPOT ELEVATION
GRADE BREAK GB BACK OF WALK BW	(ALL C&G ELEVATIONS ARE FLOWLINE UNLESS OTHERWISE NOTED)
BACK OF WALK BW	(ALL C&G ELEVATIONS ARE FLOWLINE UNLESS OTHERWISE NOTED)  TOP BACK OF CURB
	(ALL C&G ELEVATIONS ARE FLOWLINE UNLESS OTHERWISE NOTED)  TOP BACK OF CURB
<b>FLOWLINE</b> FL	(ALL C&G ELEVATIONS ARE FLOWLINE UNLESS OTHERWISE NOTED)  TOP BACK OF CURB
	(ALL C&G ELEVATIONS ARE FLOWLINE UNLESS OTHERWISE NOTED)  TOP BACK OF CURB

NOTE:

1. ADD 5100 TO ALL SPOT ELEVATIONS



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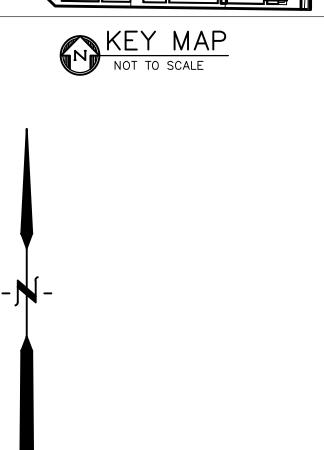
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1800 38th STREET
BOULDER, COLORADO 80301
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DATE:

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SHEET TITLE:
ALLEY #2
PLAN & PROFILE



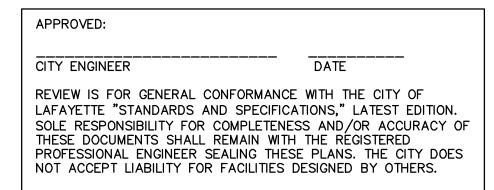
ORIGINAL SCALE: 1"=20'

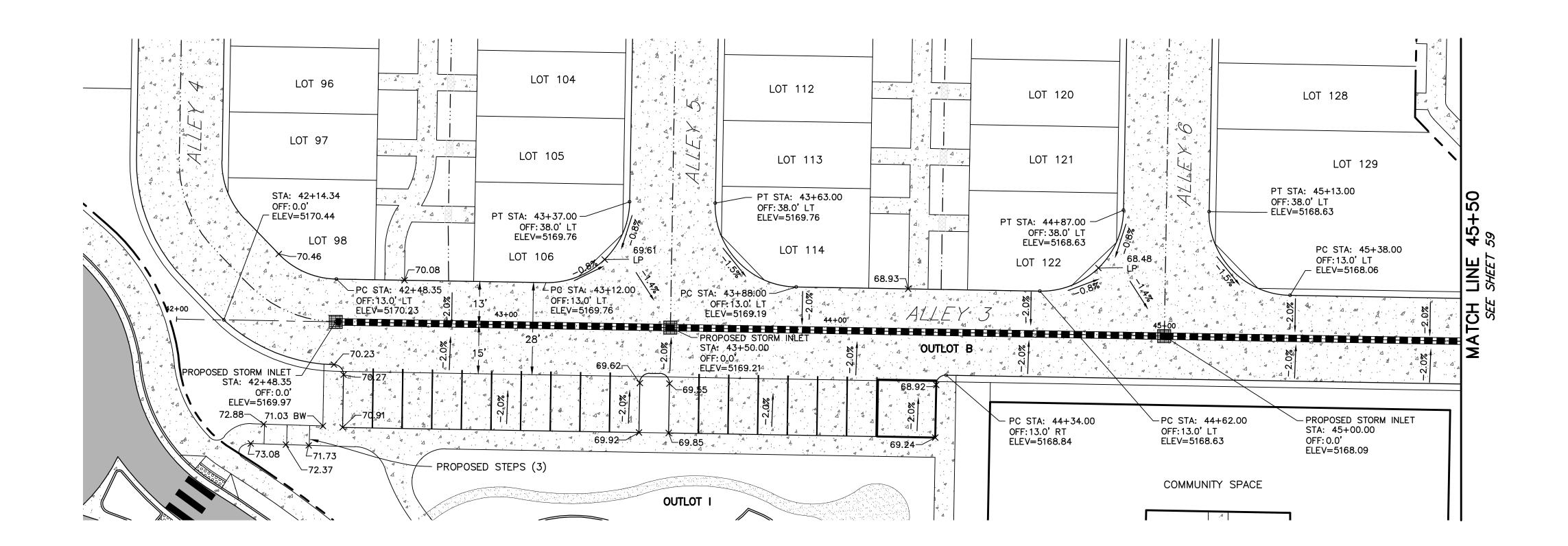
Know what's below.

Call before you dig.

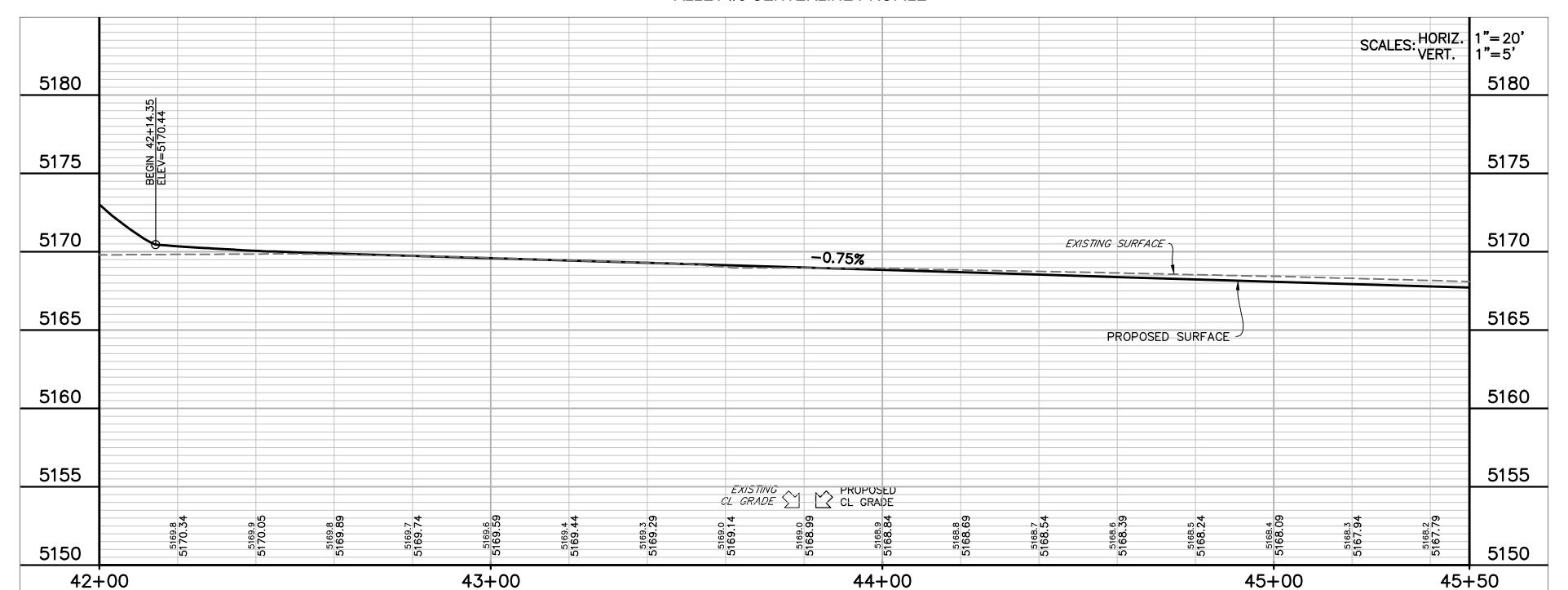
	PROPERTY LINE	
	PROPOSED ROW	
-	PROPOSED LOT LINE	
1	PROPOSED MANHOLE	. •
	PROPOSED STORM INLET	
	PROPOSED STORM SEWER	
	PROPOSED CONCRETE	9 <u>4</u> . 4
}	PROPOSED ASPHALT	
4	EX. SPOT ELEVATIONS×	56.23±
(	PROPOSED SPOT ELEVATIONALL C&G ELEVATIONS ARE FLOWLINE UNLESS OTHERWISE	·····× 56.23 NOTED)
•	TOP BACK OF CURB	тс
	HIGH POINT	HP
	LOW POINT	LP
(	GRADE BREAK	GB
	BACK OF WALK	BW
	FLOWLINE	FL
1	NOTE:	

1. ADD 5100 TO ALL SPOT ELEVATIONS





### ALLEY #3 CENTERLINE PROFILE



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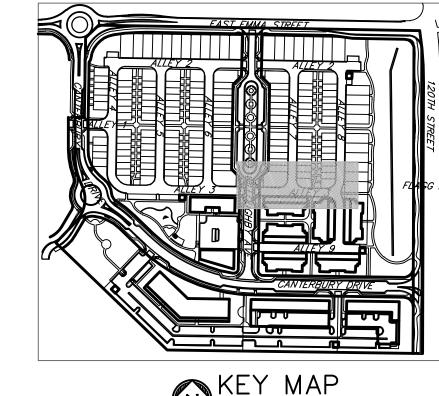
CONSTRUCTION

DATE:

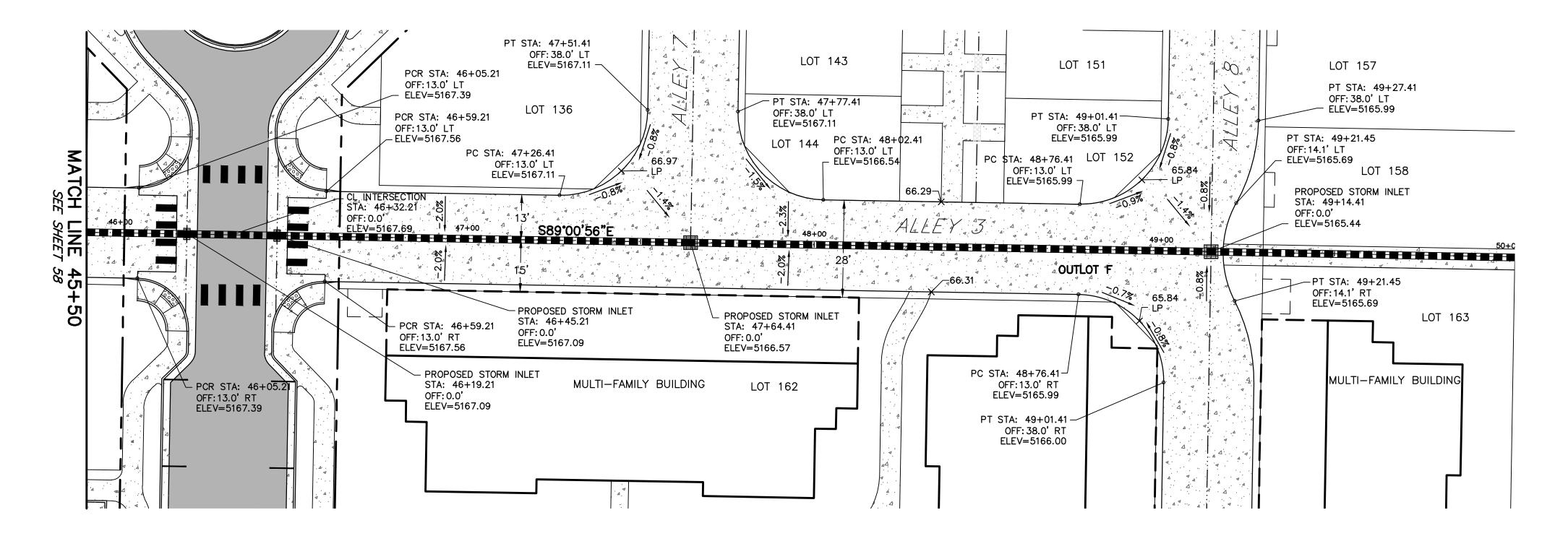
SHEET TITLE:
ALLEY #3
PLAN & PROFILE

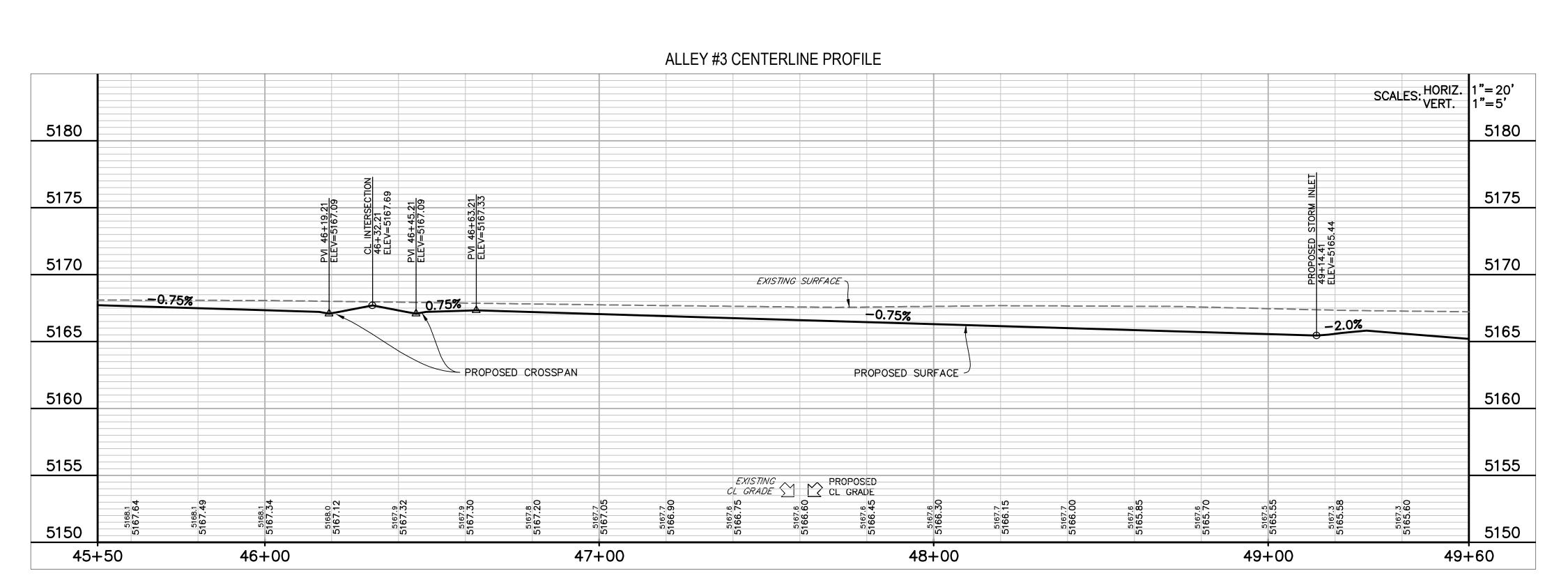
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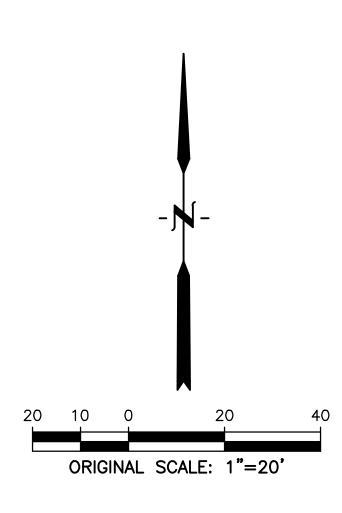


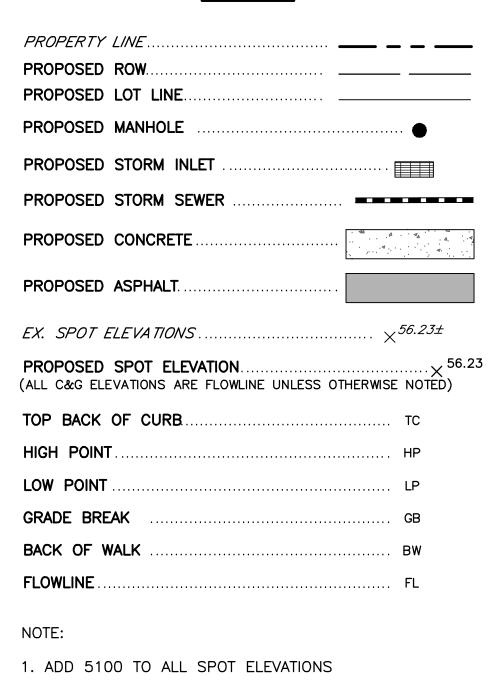












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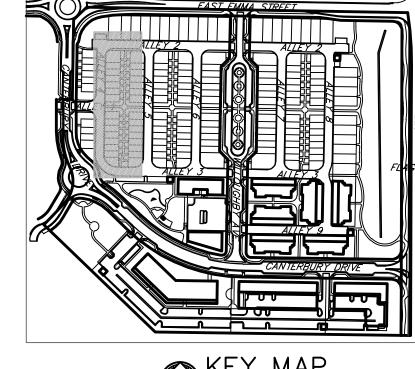
DATE: 03/27/2020 PRE PLAN

SHEET TITLE: ALLEY #3 PLAN & PROFILE

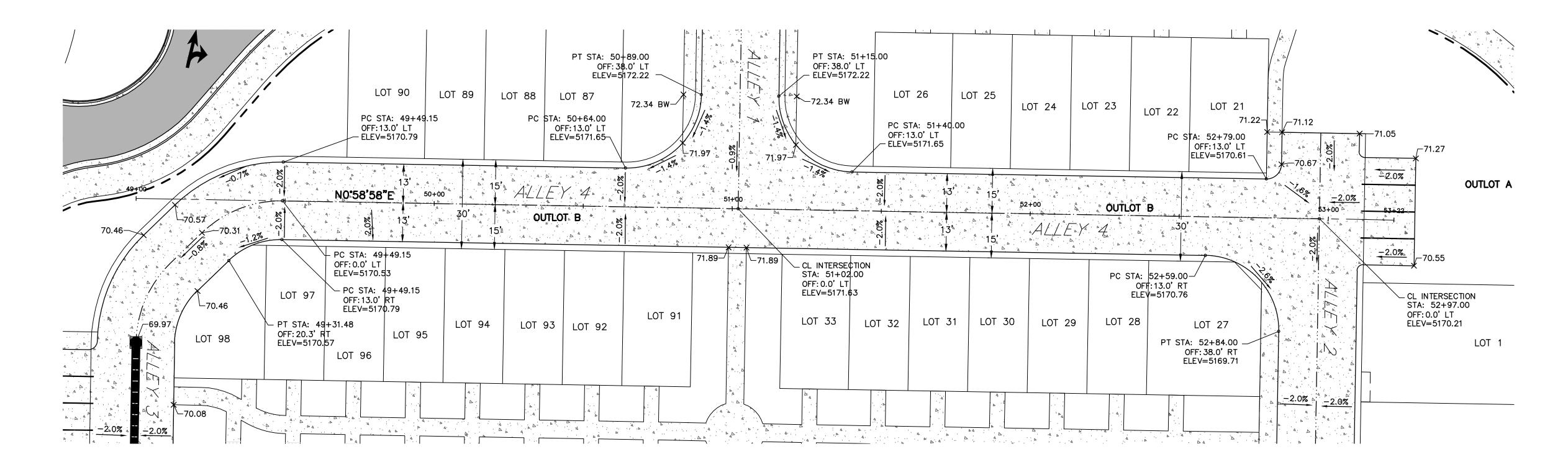
SHEET TITLE:
ALLEY #4
PLAN & PROFILE

60

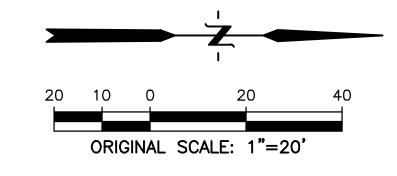
Know what's below.
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### ALLEY #4 CENTERLINE PROFILE HIGH PT STA: 51+01.96 HIGH PT ELEV: 5171.63 PVI STA: 51+02.00 PVI ELEV: 5171.68 K: 16.72 LVC: 25.00 SCALES: HORIZ. 1"= 20' 1"= 5' 5185 5185 25.00' VC 5180 5180 5175 5175 - PROPOSED SURFACE 0.75% -0.75% 5170 5170 EXISTING SURFACE 5165 5165 5160 5160 EXISTING PROPOSED CL GRADE 5169.5 5170.34 70.76 5155 5155 52+00 53+00 53+20 49+00 50+00 51+00



### <u>LEGEND</u>

PROPERTY LINE
PROPOSED ROW
PROPOSED LOT LINE
PROPOSED MANHOLE
PROPOSED STORM INLET
PROPOSED STORM SEWER
PROPOSED CONCRETE
PROPOSED ASPHALT
EX. SPOT ELEVATIONS ×56.23±
PROPOSED SPOT ELEVATIONX 56.23 (ALL C&G ELEVATIONS ARE FLOWLINE UNLESS OTHERWISE NOTED)
PROPOSED SPOT ELEVATION
(ALL C&G ELEVATIONS ARE FLOWLINE UNLESS OTHERWISE NOTED)
(ALL C&G ELEVATIONS ARE FLOWLINE UNLESS OTHERWISE NOTED)  TOP BACK OF CURB TC
(ALL C&G ELEVATIONS ARE FLOWLINE UNLESS OTHERWISE NOTED)  TOP BACK OF CURB
(ALL C&G ELEVATIONS ARE FLOWLINE UNLESS OTHERWISE NOTED)  TOP BACK OF CURB
(ALL C&G ELEVATIONS ARE FLOWLINE UNLESS OTHERWISE NOTED)  TOP BACK OF CURB

1. ADD 5100 TO ALL SPOT ELEVATIONS

APPROVED:	
CITY ENGINEER	DATE
LAFAYETTE "STANDARDS A SOLE RESPONSIBILITY FOR THESE DOCUMENTS SHALL PROFESSIONAL ENGINEER	CONFORMANCE WITH THE CITY OF AND SPECIFICATIONS," LATEST EDITION. COMPLETENESS AND/OR ACCURACY OF REMAIN WITH THE REGISTERED SEALING THESE PLANS. THE CITY DOES R FACILITIES DESIGNED BY OTHERS.

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(303) 442-4338

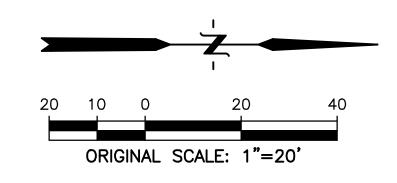
NOT FOR

CONSTRUCTION

DATE: 03/27/2020 PRE PLAN

U3/2//2020 PRE PLAN

NOT TO SCALE



### <u>LEGEND</u>

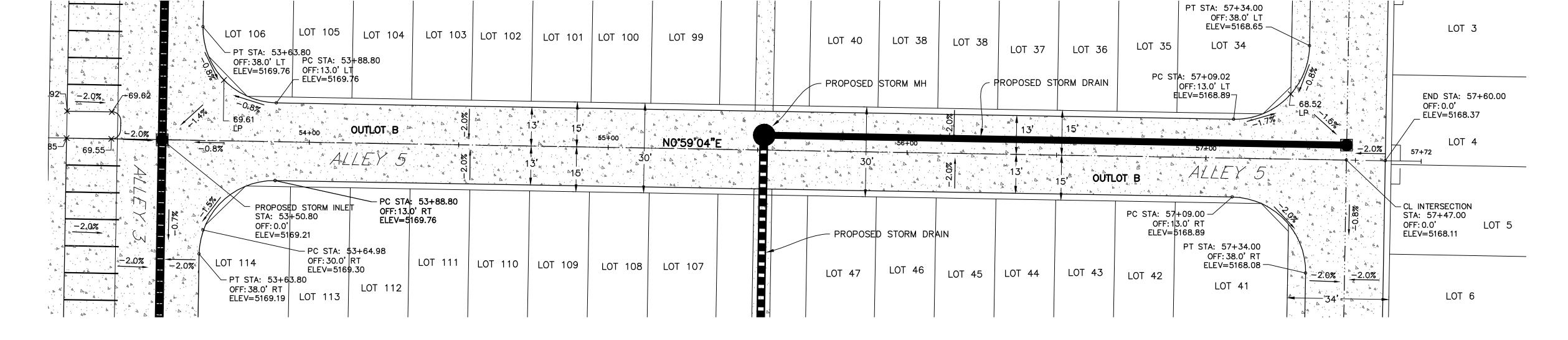
PROPERTY LINE
PROPOSED ROW
PROPOSED LOT LINE
PROPOSED MANHOLE
PROPOSED STORM INLET
PROPOSED STORM SEWER
PROPOSED CONCRETE
PROPOSED ASPHALT
EX. SPOT ELEVATIONS $ imes^{56.23\pm}$
PROPOSED SPOT ELEVATION $\times$ 56.23 (ALL C&G ELEVATIONS ARE FLOWLINE UNLESS OTHERWISE NOTED)
TOP BACK OF CURB
HIGH POINT HP
LOW POINT LP
LOW POINT LP  GRADE BREAK GB

NOTE:

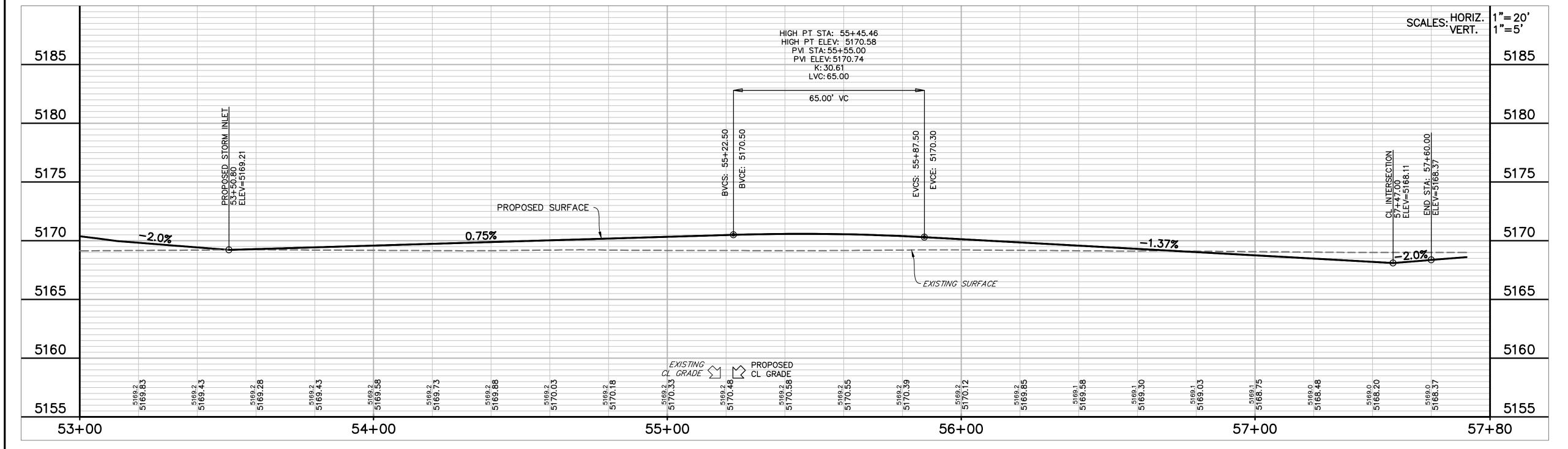
1. ADD 5100 TO ALL SPOT ELEVATIONS



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### ALLEY #5 CENTERLINE PROFILE



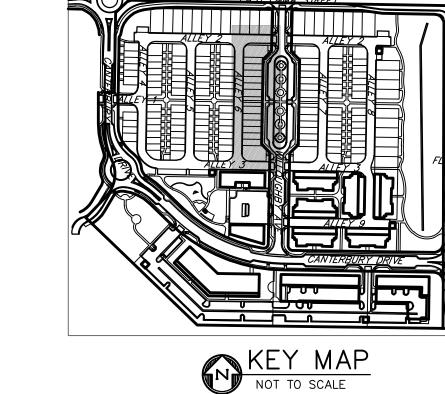
CWK MAB

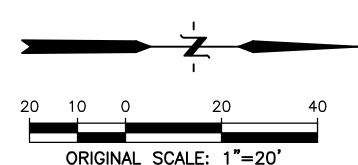
SHEET TITLE:

ALLEY #5

PLAN & PROFILE

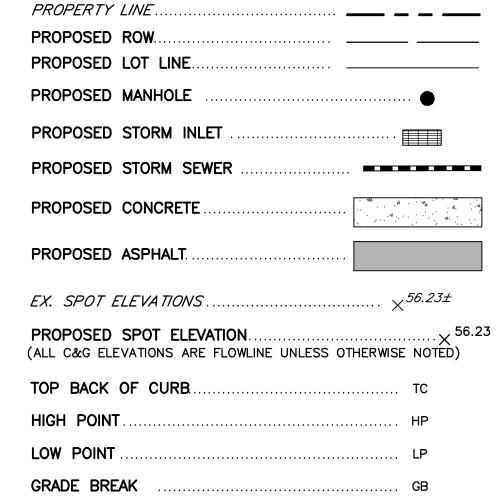






### ORIGINAL SCALE: 1"=20'

### <u>LEGEND</u>



(ALL C&G ELEVATIONS ARE FLOWLINE UNLESS OTHERWISE	NOTE
TOP BACK OF CURB	TC
HIGH POINT	HP
LOW POINT	LP
GRADE BREAK	GB
BACK OF WALK	BW
FLOWLINE	FL

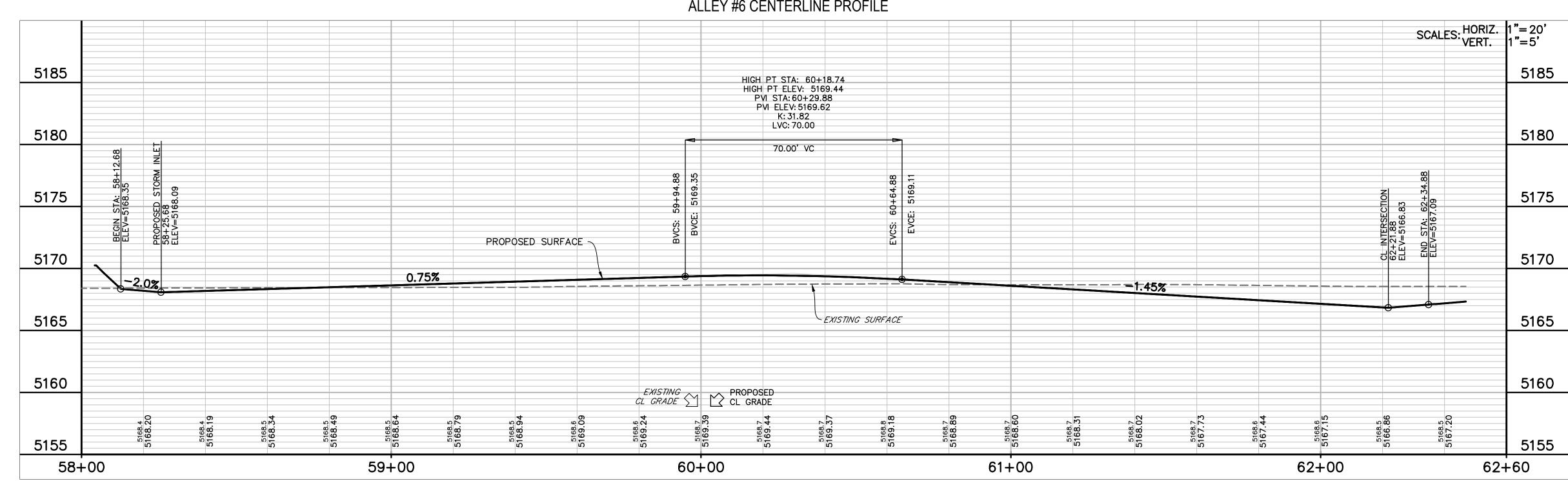
NOTE:

1. ADD 5100 TO ALL SPOT ELEVATIONS

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LOT 7 PT STA: 58+38.68 OFF: 38.0' LT -- ELEV=5168.63 -2.0% | -2.0% -2.0% PT STA: 62+08.88 OFF: 38.0' LT ELEV=5167.47-LOT 8 LOT 120 | LOT 119 | LOT 118 | LOT 117 | LOT 116 | LOT 115 COMMUNITY SPACE LOT 52 LOT 50 LOT 49 LOT 51 LOT 53 PC STA: 58+63.68 OFF: 13.0' LT -- ELEV=5168.63 BEGIN STA: 58+12.68 PC STA: 61+83.88 OFF:13.0' LT ELEV=5167.64 -OFF: 0.0' PROPOSED STORM MH PROPOSED STORM DRAIN - PROPOSED STORM INLET ELEV=5168.35 END STA: 62+34.88 - ELEV=5167.09 CL INTERSECTION STA: 62+21.88 OFF: 0.0' ELEV=5166.83 - PC STA: 58+63.68 PC STA: 61+83.88 OFF:13.0' RT OFF: 13.0' RT ELEV=5167.64 ELEV=5168.63 - PROPOSED STORM DRAIN PT STA: 62+08.88 — PT STA: 58+38.68 OFF: 38.0' RT ELEV=5168.06 OFF: 38.0' RT ELEV=5166.71 PROPOSED STORM INLET LOT 127 | LOT 126 LOT 125 | LOT 124 LOT 123 STA: 58+25.68 LOT 59 LOT 58 LOT 57 LOT 56 LOT 60 LOT 55 ELEV=5168.09 LOT 129 LOT 11

### ALLEY #6 CENTERLINE PROFILE



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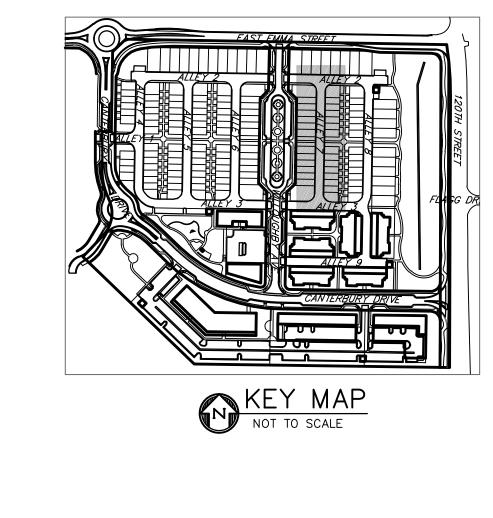
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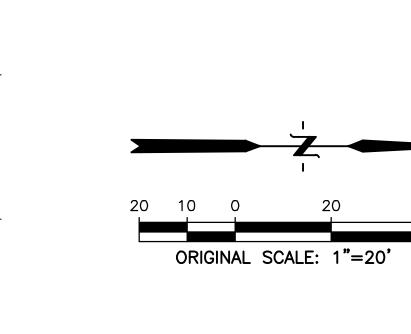
CONTACT: CAMERON KNAPP, P.E.

DATE: 03/27/2020 PRE PLAN

SHEET TITLE: ALLEY #6 PLAN & PROFILE



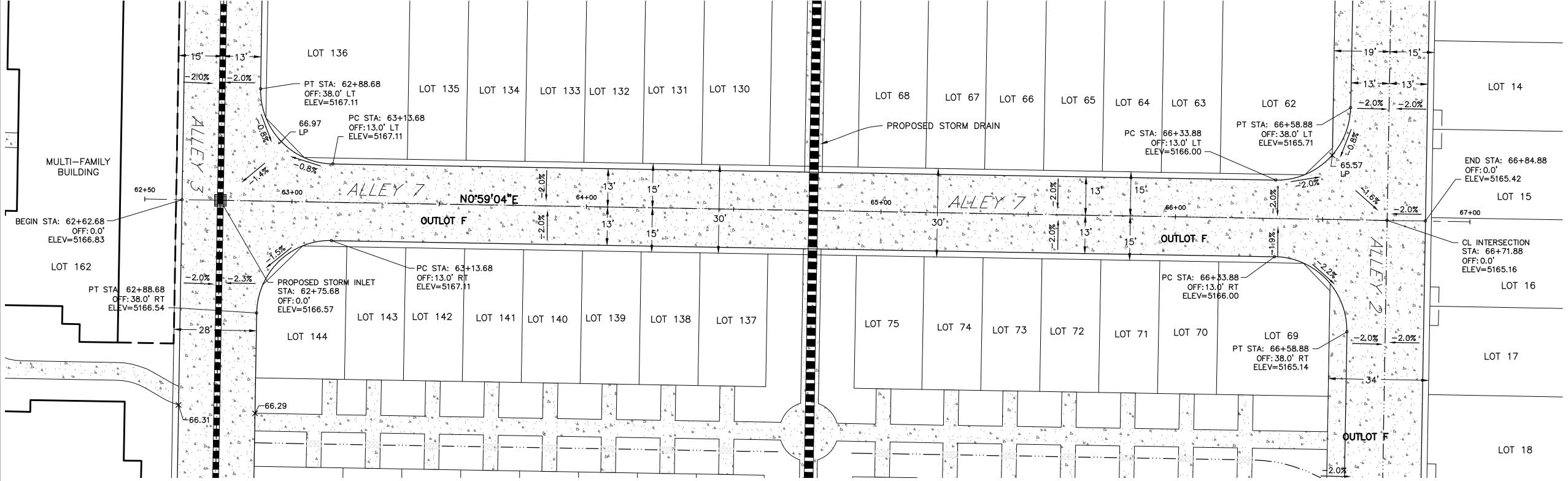




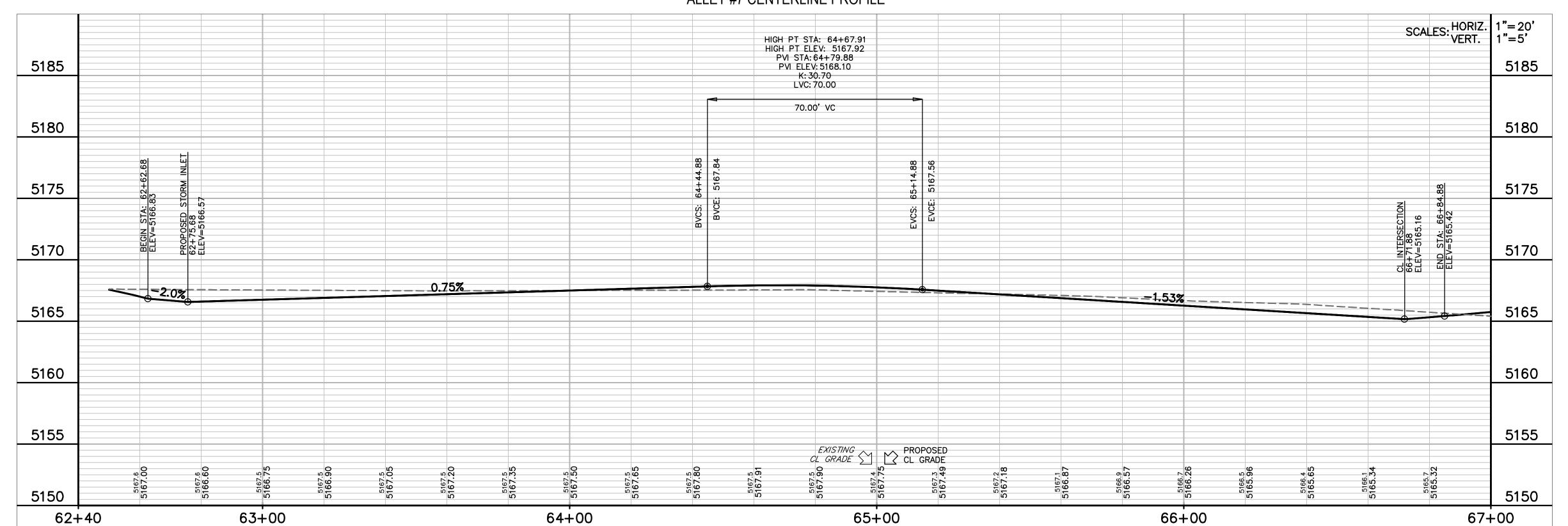
PROPERTY LINE
PROPOSED ROW
PROPOSED LOT LINE
PROPOSED MANHOLE
PROPOSED STORM INLET
PROPOSED STORM SEWER
PROPOSED CONCRETE
PROPOSED ASPHALT
EX. SPOT ELEVATIONS $ imes^{56.23\pm}$
PROPOSED SPOT ELEVATION
TOP BACK OF CURB
HIGH POINT
LOW POINT LP
GRADE BREAK GB
BACK OF WALK BW
<b>FLOWLINE</b> FL
NOTE:

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1. ADD 5100 TO ALL SPOT ELEVATIONS



### ALLEY #7 CENTERLINE PROFILE



63

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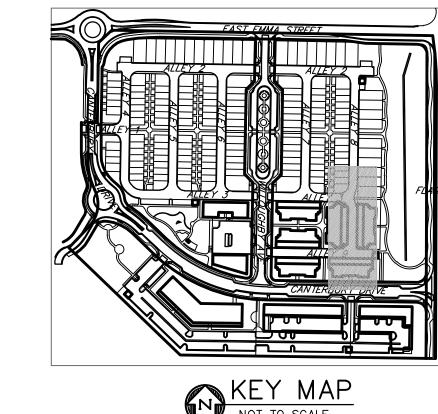


(303) 442-4338 NOT FOR CONSTRUCTION

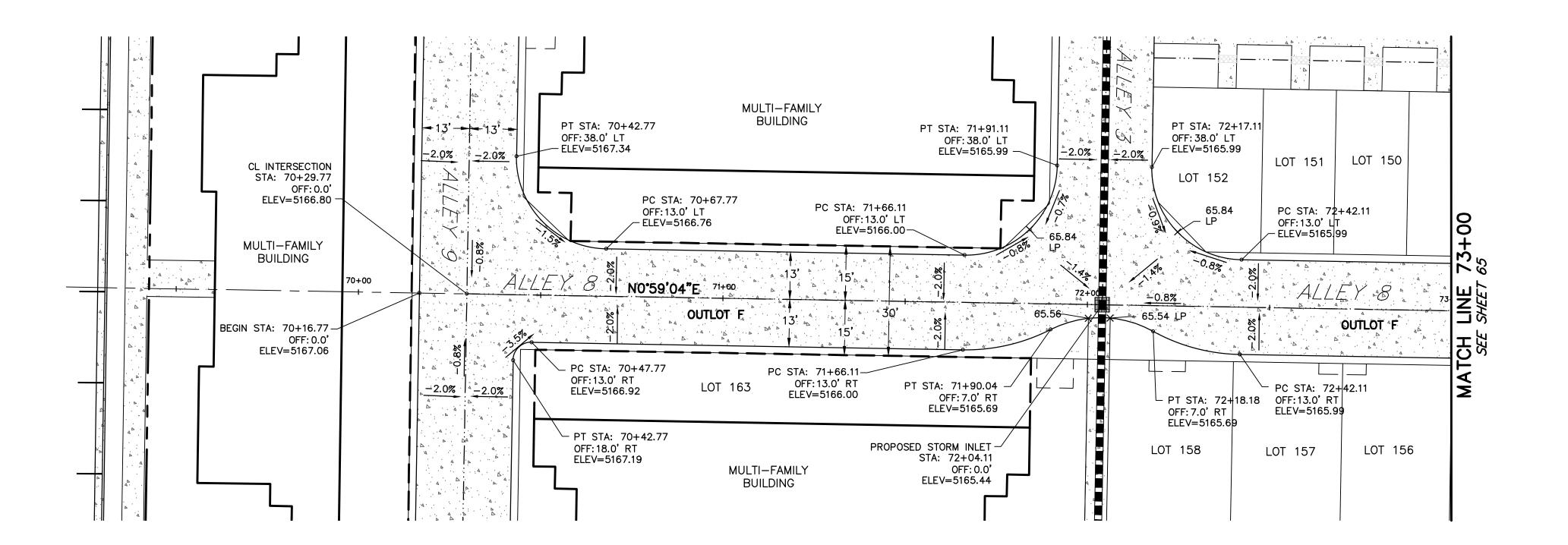
DATE:

SHEET TITLE: ALLEY #7 PLAN & PROFILE

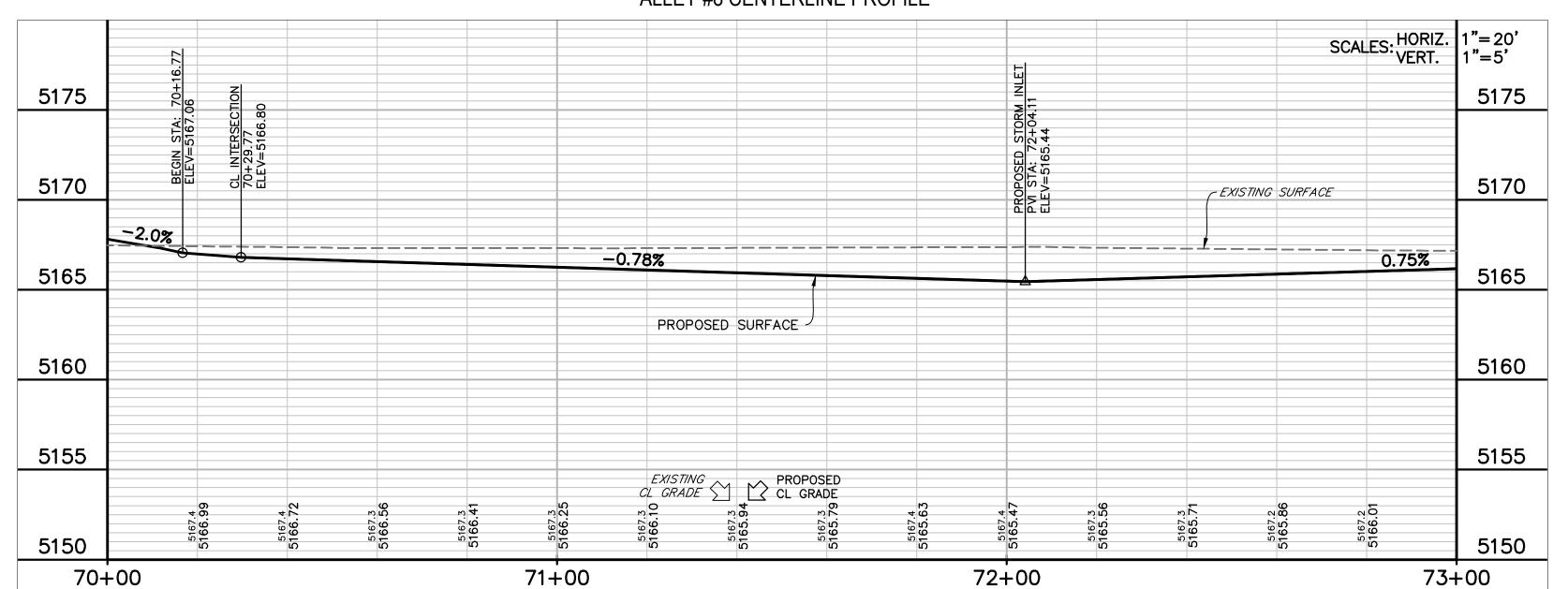


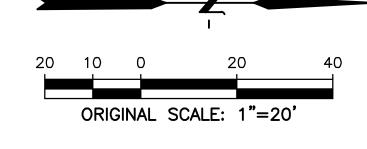






### ALLEY #8 CENTERLINE PROFILE





### <u>LEGEND</u>

<u> </u>
PROPERTY LINE
PROPOSED ROW
PROPOSED LOT LINE
PROPOSED MANHOLE
PROPOSED STORM INLET
PROPOSED STORM SEWER
PROPOSED CONCRETE
PROPOSED ASPHALT
EX. SPOT ELEVATIONS $ imes^{56.23\pm}$
PROPOSED SPOT ELEVATION
TOP BACK OF CURB TC
HIGH POINT HP
LOW POINT LP
GRADE BREAK GB
BACK OF WALK BW
FLOWLINE FL
NOTE:

1. ADD 5100 TO ALL SPOT ELEVATIONS

APPROVED:	
CITY ENGINEER	DATE
DEVIEW 10 FOR OFVIER 11 0001F0R144110	
REVIEW IS FOR GENERAL CONFORMANCI	E WITH THE CITY OF T
LAFAYETTE "STANDARDS AND SPECIFIC	ATIONS," LATEST EDITION.
SOLE RESPONSIBILITY FOR COMPLETENE	
THESE BOOK MENTS SHALL BENAME WITH	133 AND/ON ACCOMACT OF
THESE DOCUMENTS SHALL REMAIN WITH	H THE REGISTERED
PROFESSIONAL ENGINEER SEALING THES	SE PLANS. THE CITY DOES $$ $$ $$
NOT ACCEPT LIABILITY FOR FACILITIES	DESIGNED BY OTHERS
NOT ACCLL I LIABILITY FOR TACILITIES	DESIGNED DI OTTENS.

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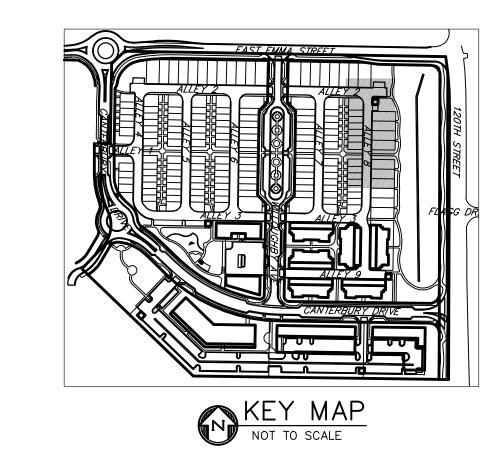


NOT FOR CONSTRUCTION

DATE:

SHEET TITLE: ALLEY #8 PLAN & PROFILE





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BOULDER, COLORADO 80301

CONTACT: CAMERON KNAPP, P.E. (303) 442-4338

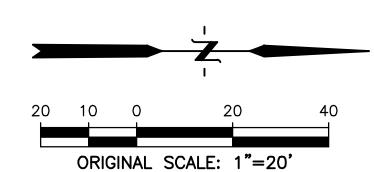
NOT FOR

CONSTRUCTION

DATE: 03/27/2020 PRE PLAN

P 303.892.1166

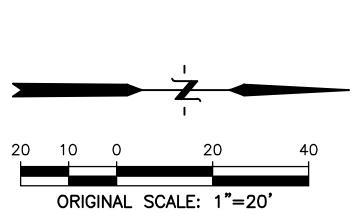
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### <u>LEGEND</u>

PROPERTY LINE	
PROPOSED ROW	
PROPOSED LOT LINE	
PROPOSED MANHOLE	•
PROPOSED STORM INLET	
PROPOSED STORM SEWER	
PROPOSED CONCRETE	4
PROPOSED ASPHALT	
EX. SPOT ELEVATIONS	56.23±
PROPOSED SPOT ELEVATION(ALL C&G ELEVATIONS ARE FLOWLINE UNLESS OTHERWISE	·····× <sup>56.23</sup> NOTED)
TOP BACK OF CURB	TC
HIGH POINT	HP
LOW POINT	LP
GRADE BREAK	GB
BACK OF WALK	BW
FLOWLINE	FL

APPROVED: CITY ENGINEER REVIEW IS FOR GENERAL CONFORMANCE WITH THE CITY OF LAFAYETTE "STANDARDS AND SPECIFICATIONS," LATEST EDITION. SOLE RESPONSIBILITY FOR COMPLETENESS AND/OR ACCURACY OF THESE DOCUMENTS SHALL REMAIN WITH THE REGISTERED PROFESSIONAL ENGINEER SEALING THESE PLANS. THE CITY DOES NOT ACCEPT LIABILITY FOR FACILITIES DESIGNED BY OTHERS.



PROPERTY LINE
PROPOSED ROW
PROPOSED LOT LINE
PROPOSED MANHOLE
PROPOSED STORM INLET
PROPOSED STORM SEWER
PROPOSED CONCRETE
PROPOSED ASPHALT
EX. SPOT ELEVATIONS $ imes^{56.23\pm}$
PROPOSED SPOT ELEVATION $\times$ 56.23 (ALL C&G ELEVATIONS ARE FLOWLINE UNLESS OTHERWISE NOTED)
TOP BACK OF CURB
HIGH POINT HP
LOW POINT LP
GRADE BREAK GB
BACK OF WALK BW
<b>FLOWLINE</b> FL
NOTE:

1. ADD 5100 TO ALL SPOT ELEVATIONS

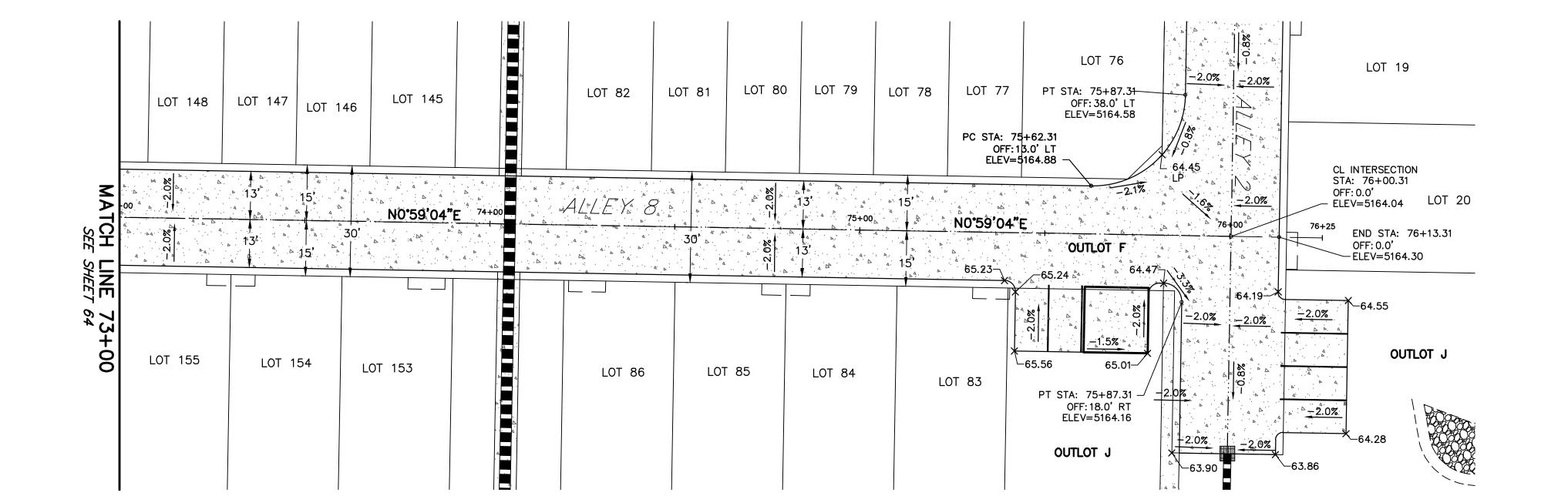
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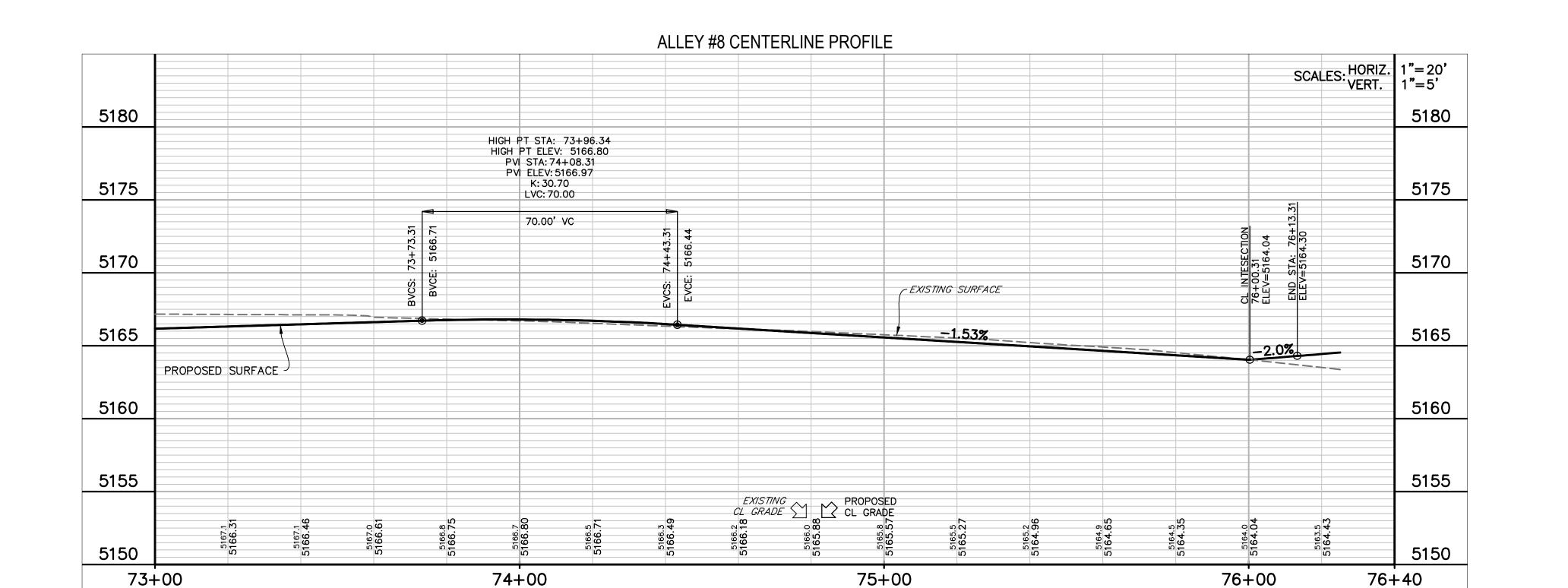
ALLEY #8

PLAN & PROFILE

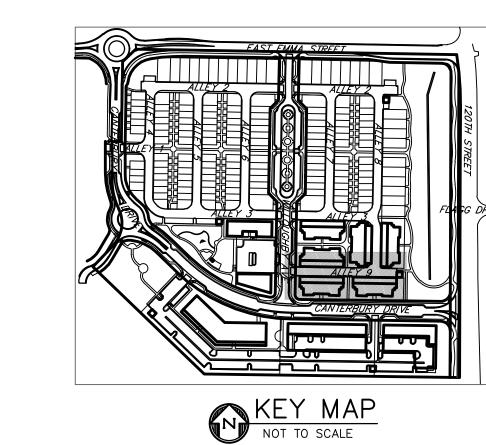
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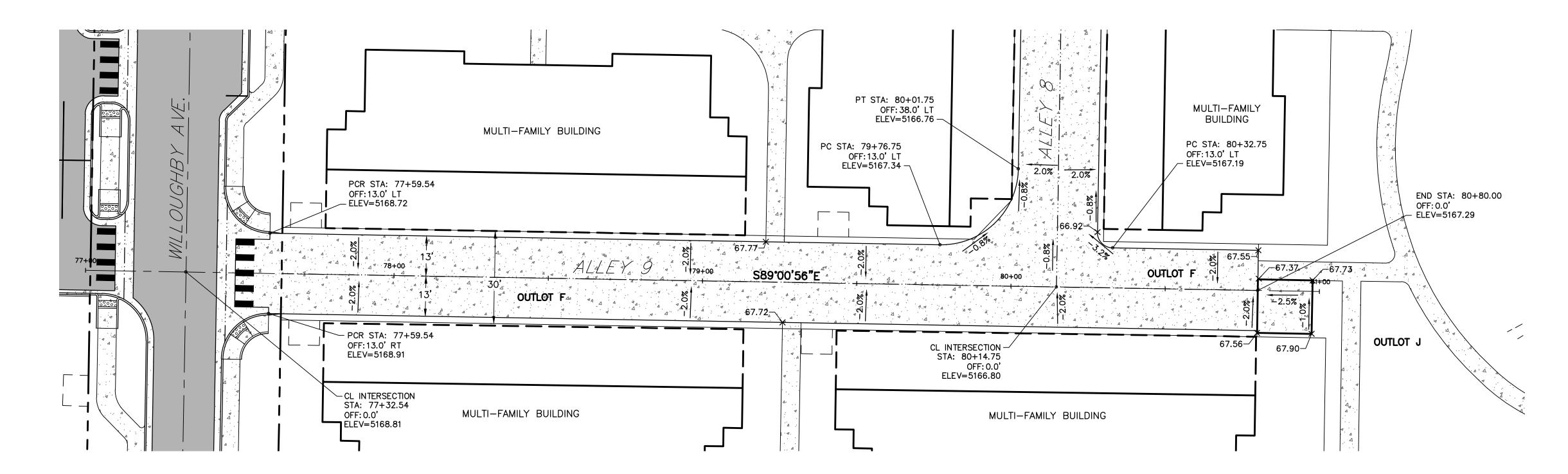
Call before you dig.





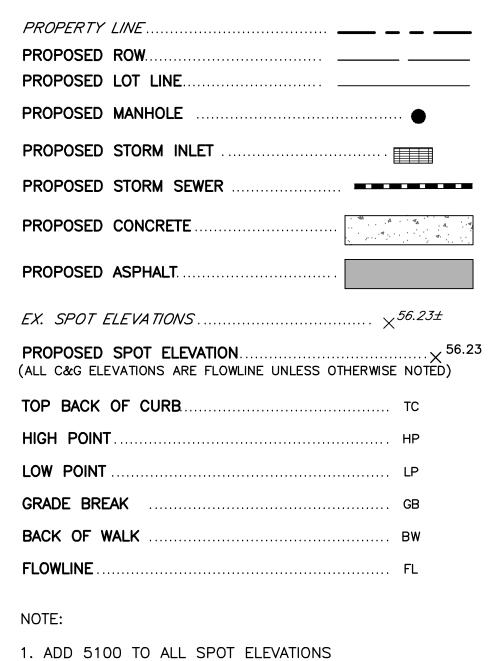






# ORIGINAL SCALE: 1"=20'

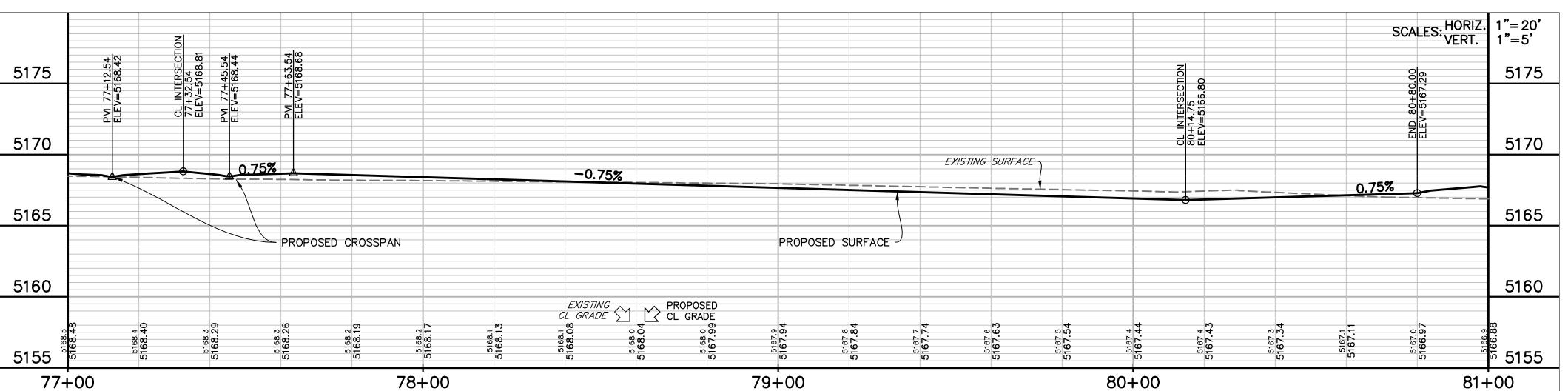
### <u>LEGEND</u>



### APPROVED: CITY ENGINEER REVIEW IS FOR GENERAL CONFORMANCE WITH THE CITY OF LAFAYETTE "STANDARDS AND SPECIFICATIONS," LATEST EDITION. SOLE RESPONSIBILITY FOR COMPLETENESS AND/OR ACCURACY OF

THESE DOCUMENTS SHALL REMAIN WITH THE REGISTERED PROFESSIONAL ENGINEER SEALING THESE PLANS. THE CITY DOES NOT ACCEPT LIABILITY FOR FACILITIES DESIGNED BY OTHERS.

### ALLEY #9 CENTERLINE PROFILE



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303-441-1000



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Engineers • Surveyors
1800 38th STREET
BOULDER, COLORADO 80301
CONTACT: CAMERON KNAPP, P.E.
(303) 442-4338

CONSTRUCTION

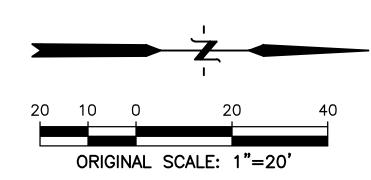
NOT FOR

DATE:

03/27/2020 PRE PLAN

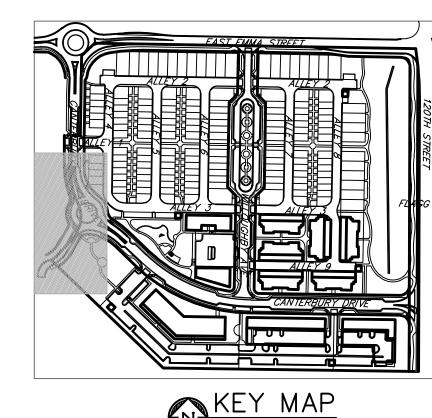
SHEET TITLE: ALLEY #9 PLAN & PROFILE





PROPERTY LINE
PROPOSED ROW
PROPOSED LOT LINE
PROPOSED MANHOLE
PROPOSED STORM INLET
PROPOSED STORM SEWER
PROPOSED CONCRETE
PROPOSED ASPHALT
EX. SPOT ELEVATIONS $ imes^{56.23\pm}$
PROPOSED SPOT ELEVATION $\times$ $^{56.23}$ (ALL C&G ELEVATIONS ARE FLOWLINE UNLESS OTHERWISE NOTED)
TOP BACK OF CURB TC
HIGH POINT
LOW POINTLP
GRADE BREAK GB
BACK OF WALK BW
<b>FLOWLINE</b> FL
NOTE:

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LOT 2

BEGIN STA: 11+53.43 OFF: 0.0' ELEV=5172.94

LOT 90

11+00

LOT 89

LOT 88

LOT 87

SCALES: HORIZ. 1"= 20' 1"= 5'

-0.50%

5185

5180

5175

5170

5165

<sub>2</sub> 5160

5155

12+00

PRC STA: 10+28.07 OFF: 0.0' \_ ELEV=5174.60

PROPOSED ROUNDABOUT

CL INTERSECTION STA: 10+00.00 OFF: 0.0' ELEV=5175.32

CANTERBURY CENTERLINE PROFILE

EXISTING
CL GRADE
CL GRADE

10+00

PRC STA: 9+42.45 OFF: 0.0' ELEV=5173.77

PT STA: 11+56.47 OFF: 0.0' \_ ELEV=5172.92

PROPERTY LINE	
PROPOSED ROW	
PROPOSED LOT LINE	
PROPOSED MANHOLE	
PROPOSED STORM INLET	
PROPOSED STORM SEWER	• • • • •
PROPOSED CONCRETE	4
PROPOSED ASPHALT	
EX. SPOT ELEVATIONS ×	56.23±
PROPOSED SPOT ELEVATION(ALL C&G ELEVATIONS ARE FLOWLINE UNLESS OTHERWISE	·····× 56.2 NOTED)
TOP BACK OF CURB	TC
HIGH POINT	HP
LOW POINT	LP
GRADE BREAK	GB
BACK OF WALK	BW
FLOWLINE	FL

5185

5180

5175

5170

5165

5160

5155

MATCH EX.
BEGIN STA: 7+45.11
OFF: 0.0'
ELEV=5174.76

PC STA: 8+03.73 OFF: 0.0' ELEV=5174.46

PROPOSED SURFACE

EXISTING SURFACE ~

8+00

-----

PT STA: 8+67.75 -OFF: 0.0' ELEV=5174.14

PC STA: 9+19.19 -OFF: 0.0' ELEV=5173.89

9+00

OUTLOT K

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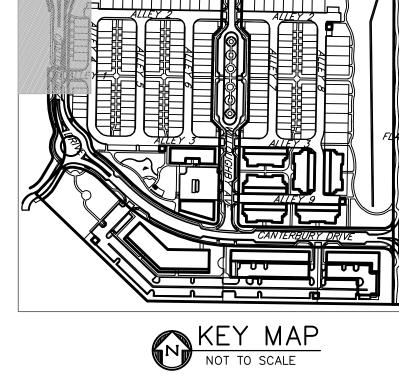
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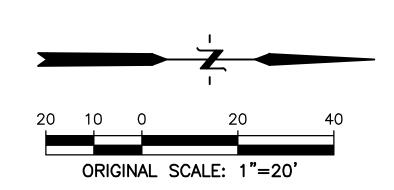
DATE:

SHEET TITLE: CANTERBURY

67

PLAN & PROFILE





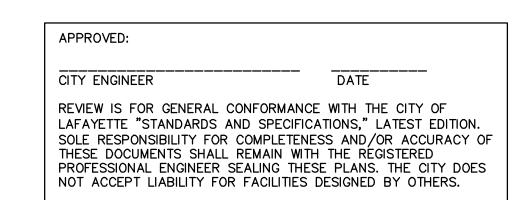
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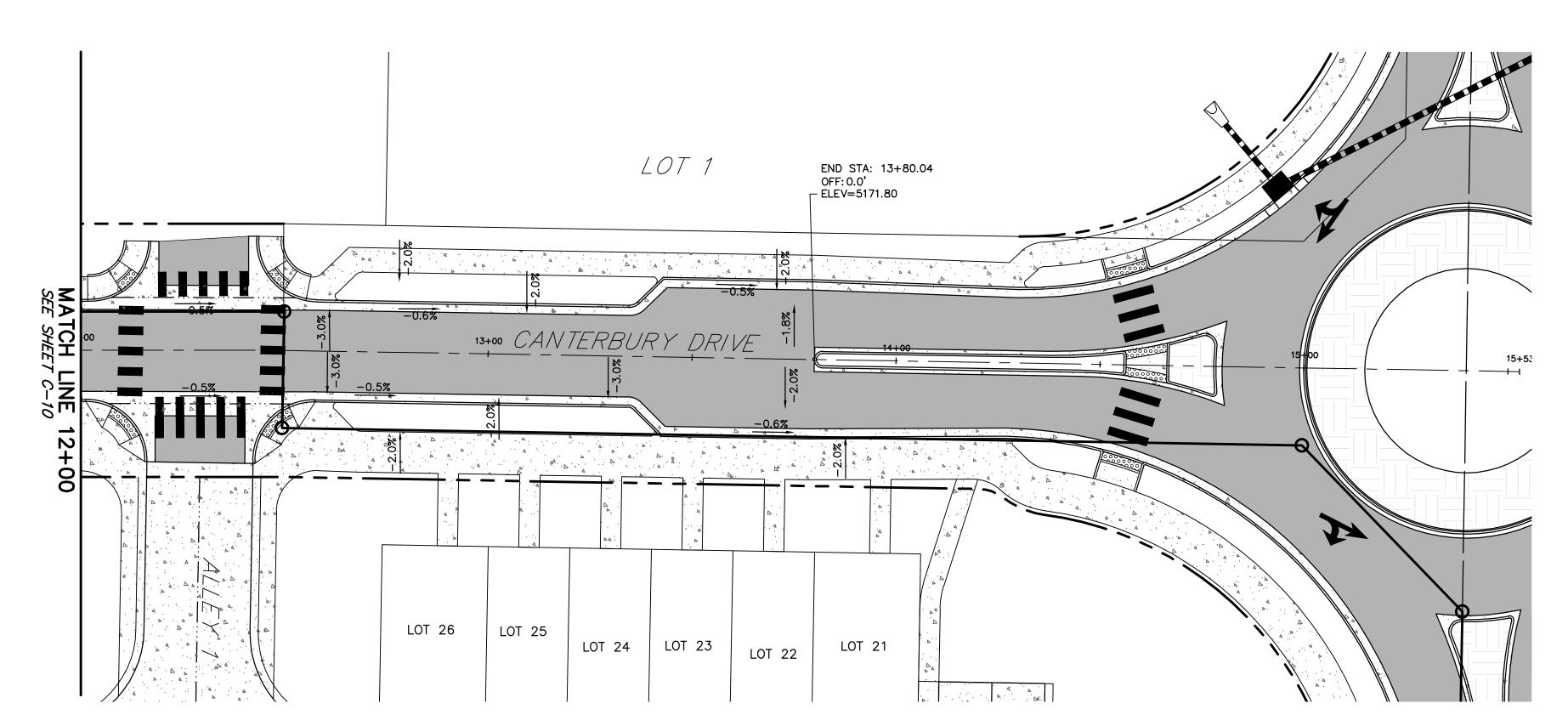
Call before you dig.

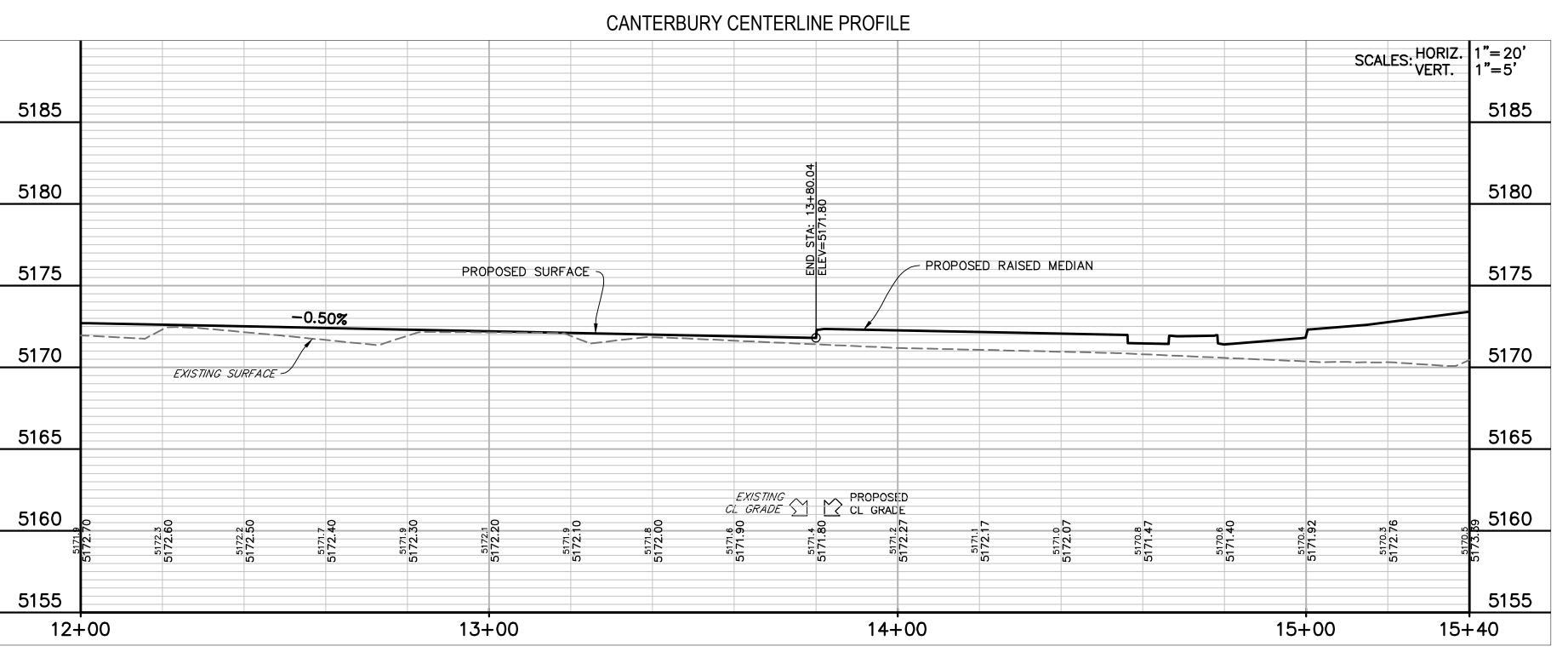
### <u>LEGEND</u>

PROPERTY LINE
PROPOSED ROW
PROPOSED LOT LINE
PROPOSED MANHOLE
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BACK OF WALK BW
FLOWLINE FL
NOTE:

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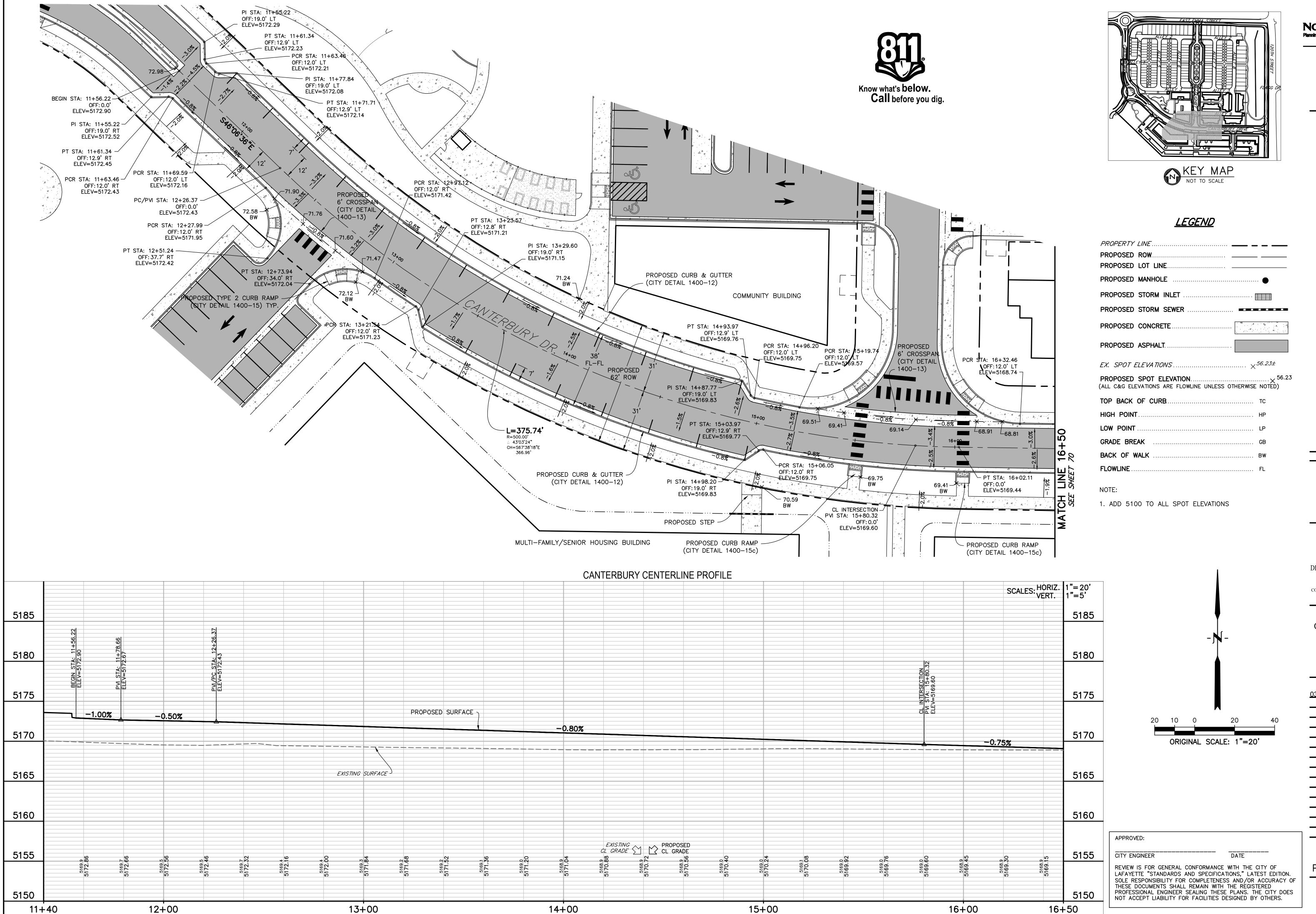
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CONTACT: CAMERON KNAPP, P.E. (303) 442-4338 NOT FOR CONSTRUCTION

DATE:

SHEET TITLE: CANTERBURY PLAN & PROFILE



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2525 13th ST, SUITE 204

BOULDER, CO 80302

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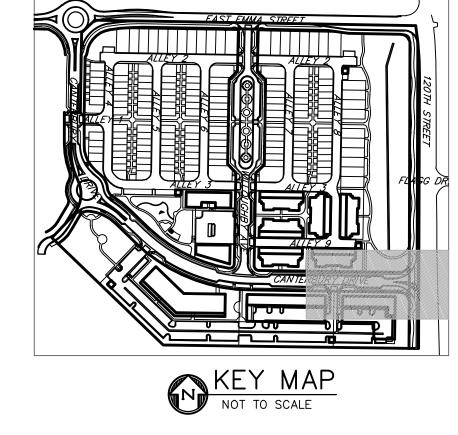
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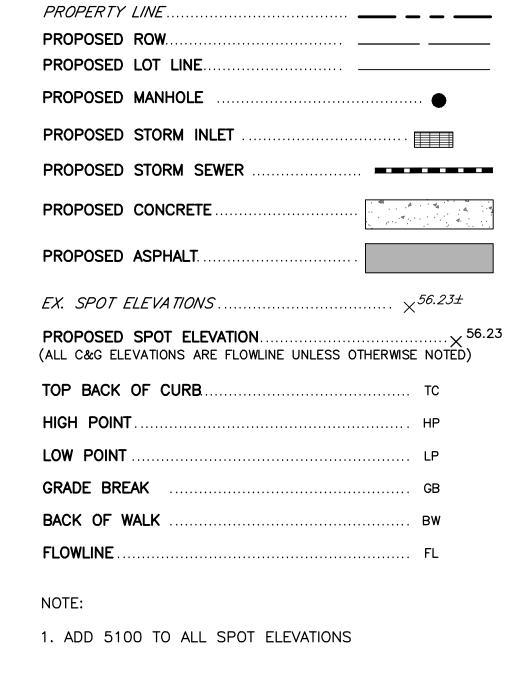
2020 PRE PLAN

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CANTERBURY
PLAN & PROFILE

39







APPROVED:

CITY ENGINEER

DATE

REVIEW IS FOR GENERAL CONFORMANCE WITH THE CITY OF LAFAYETTE "STANDARDS AND SPECIFICATIONS," LATEST EDITION. SOLE RESPONSIBILITY FOR COMPLETENESS AND/OR ACCURACY OF THESE DOCUMENTS SHALL REMAIN WITH THE REGISTERED PROFESSIONAL ENGINEER SEALING THESE PLANS. THE CITY DOES NOT ACCEPT LIABILITY FOR FACILITIES DESIGNED BY OTHERS.

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HOUSING AUTHORITY
2525 13th ST, SUITE 204
BOULDER, CO 80302

303-441-1000

DREXEL, BARRELL & CO.

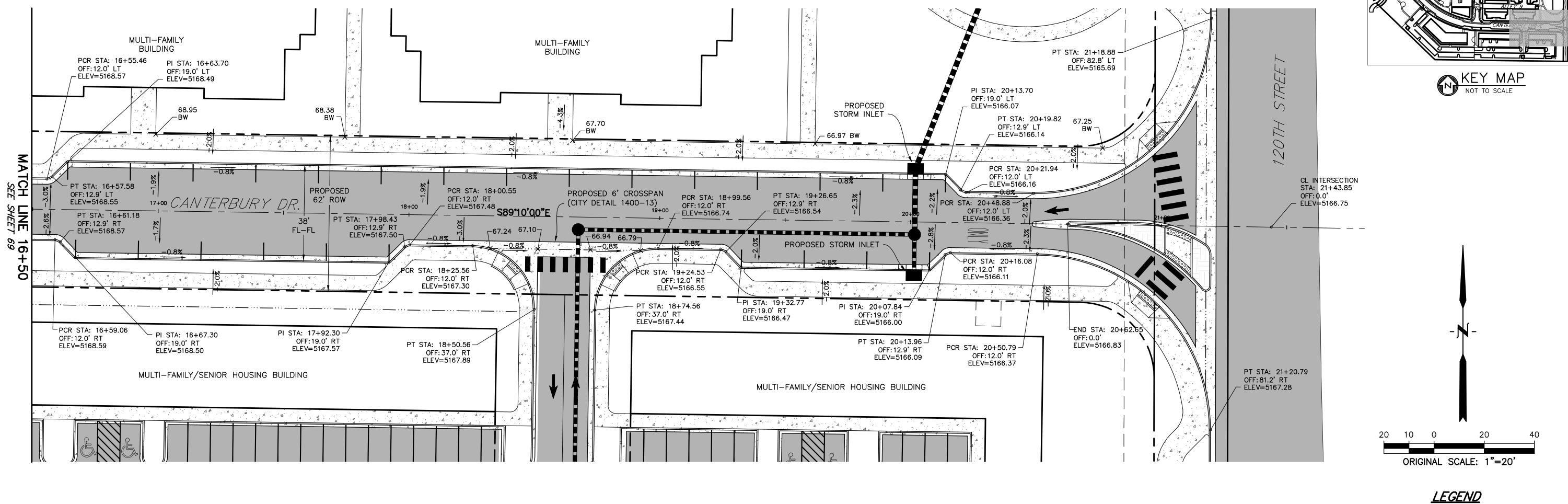
Engineers • Surveyors
1800 38th STREET
BOULDER, COLORADO 80301
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(303) 442-4338

NOT FOR CONSTRUCTION

DATE: 03/27/2020 PRE PLAN

SHEET TITLE:
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PLAN & PROFILE

70

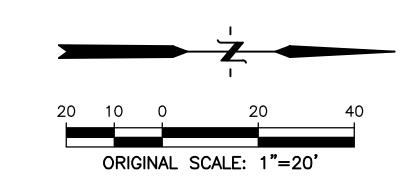


### CANTERBURY CENTERLINE PROFILE SCALES: HORIZ. 1"= 20' 1"= 5' LOW PT STA: 20+06.30 LOW PT ELEV: 5166.59 PVI STA: 20+06.30 PVI ELEV: 5166.41 5185 K: 66.67 LVC: 100.00 100.00' VC 5180 5180 5175 5175 5170 5170 -0.75%\_\_\_\_\_ 5165 5165 5160 5160 EXISTING PROPOSED CL GRADE 5155 5155 5150 17+00 16+50 18+00 19+00 20+00 21+00 21 + 40

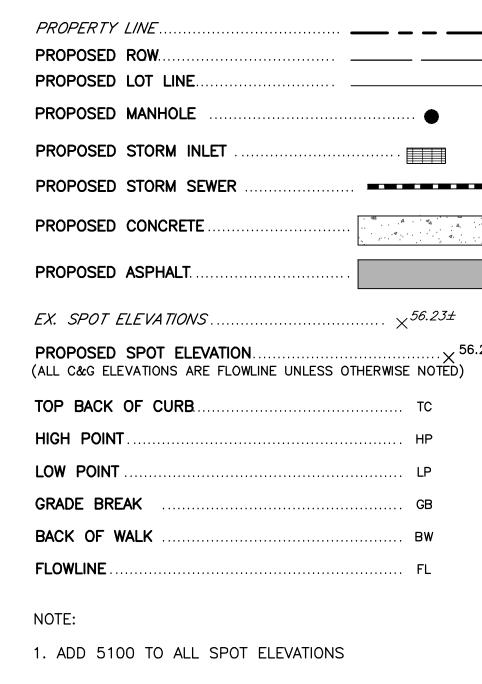
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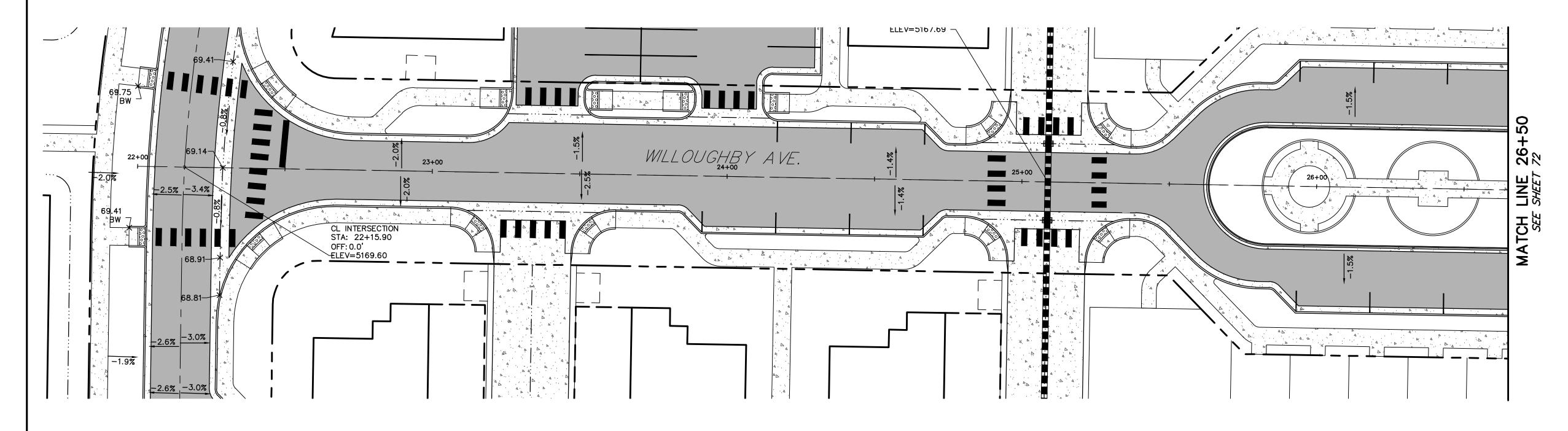


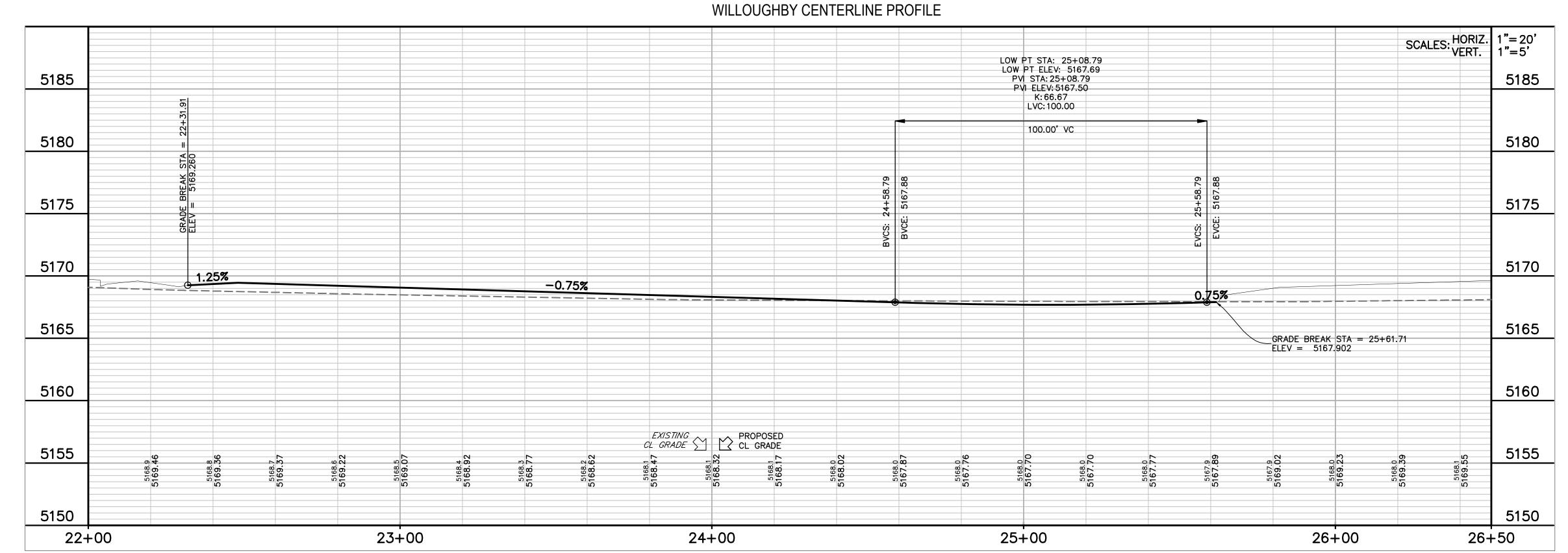


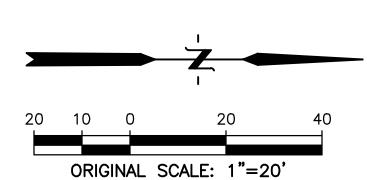
### <u>LEGEND</u>



APPROVED:	
CITY ENGINEER DATE	
REVIEW IS FOR GENERAL CONFORMANCE WITH THE CITY OF LAFAYETTE "STANDARDS AND SPECIFICATIONS," LATEST EDITIONS SOLE RESPONSIBILITY FOR COMPLETENESS AND/OR ACCURACT THESE DOCUMENTS SHALL REMAIN WITH THE REGISTERED PROFESSIONAL ENGINEER SEALING THESE PLANS. THE CITY DONOT ACCEPT LIABILITY FOR FACILITIES DESIGNED BY OTHERS.	Y C







LOT 13

LOT 14

LOW PT STA: 29+12.00 LOW PT ELEV: 5166.19 PVI STA: 29+20.00 PVI ELEV: 5165.95 K: 64.00 LVC: 112.00

112.00' VC

EXISTING
CL GRADE 

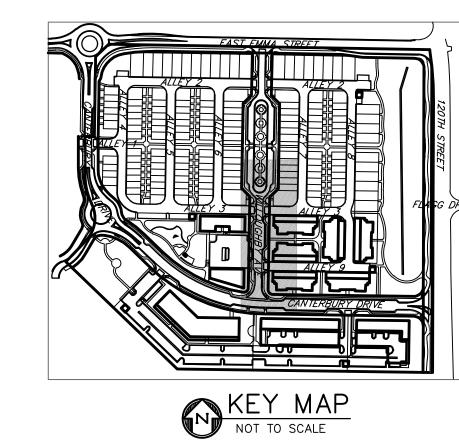
→ PROPOSED
CL GRADE

29+00

PROPERTY LINE
PROPOSED ROW
PROPOSED LOT LINE
PROPOSED MANHOLE
PROPOSED STORM INLET
PROPOSED STORM SEWER
PROPOSED CONCRETE
PROPOSED ASPHALT
EX. SPOT ELEVATIONS ×56.23±
PROPOSED SPOT ELEVATION $\times$ 56.23 (ALL C&G ELEVATIONS ARE FLOWLINE UNLESS OTHERWISE NOTED)
TOP BACK OF CURB TC
HIGH POINT HP
LOW POINT LP
GRADE BREAK GB
BACK OF WALK BW
<b>FLOWLINE</b> FL



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CITY ENGINEER	DATE
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THE MODELLI EMBLETT FOR THORETIES B	ALGIGINED BY OTHERO.



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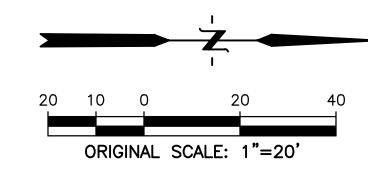
SHEET TITLE:

WILLOUGHBY

PLAN & PROFILE

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PROPERTY LINE		
PROPOSED ROW		
PROPOSED LOT LINE		
PROPOSED MANHOLE		
PROPOSED STORM INLET		
PROPOSED STORM SEWER		
PROPOSED CONCRETE		
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TOP BACK OF CURB		
HIGH POINT		
LOW POINT LP		
GRADE BREAK GB		
BACK OF WALK BW		
<b>FLOWLINE</b> FL		

1. ADD 5100 TO ALL SPOT ELEVATIONS

5185

5180

5175

5170

5165

5160

5155

5150

30+60

1.00% \_\_\_\_ 0.75%4177

30+00



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CWK MAB

LOT 130

5185

5180

5175

5170

5165

5160

5155

5150

26+50

27+00

LOT 68

LOT 67 | LOT 66 |

LOT 65 | LOT 64 | LOT 63

28+00

LOT 62

WILLOUGHBY CENTERLINE PROFILE

#### **GENERAL NOTES**

- THESE PLANS SHALL NOT BE UTILIZED FOR CONSTRUCTION OR PERMITTING UNLESS STATED FOR SUCH USE IN THE TITLE BLOCK.
- 2. DRAWINGS ARE INTENDED TO BE PRINTED ON 24" X 36" PAPER. PRINTING THESE DRAWINGS AT A DIFFERENT SIZE WILL IMPACT THE SCALE. VERIFY THE GRAPHIC SCALE BEFORE REFERENCING ANY MEASUREMENTS ON THESE SHEETS. THE RECIPIENT OF THESE DRAWINGS SHALL BE RESPONSIBLE FOR ANY ERRORS RESULTING FROM INCORRECT PRINTING, COPYING, OR ANY OTHER CHANGES THAT ALTER THE SCALE OF THE DRAWINGS.
- 3. VERIFY ALL PLAN DIMENSIONS PRIOR TO START OF CONSTRUCTION. NOTIFY THE OWNER'S REPRESENTATIVE TO ADDRESS ANY QUESTIONS OR CLARIFY ANY DISCREPANCIES.
- WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.
   SUBMIT A CHANGE ORDER FOR APPROVAL FOR ANY CHANGES TO WORK SCOPE RESULTING FROM FIELD CONDITIONS OR DIRECTION BY OWNER'S REPRESENTATIVE WHICH REQUIRE
- ADDITIONAL COST TO THE OWNER PRIOR TO PERFORMANCE OF WORK.

  6. THE CONTRACTOR SHALL PROVIDE A STAKED LAYOUT OF ALL SITE IMPROVEMENTS FOR INSPECTION BY THE OWNER'S REPRESENTATIVE AND MAKE MODIFICATIONS AS REQUIRED.

  ALL LAYOUT INFORMATION IS AVAILABLE IN DIGITAL FORMAT FOR USE BY THE CONTRACTOR.
- 7. IF A GEOTECHNICAL SOILS REPORT IS NOT AVAILABLE AT THE TIME OF CONSTRUCTION, NORRIS DESIGN RECOMMENDS A REPORT BE AUTHORIZED BY THE OWNER AND THAT ALL RECOMMENDATIONS OF THE REPORT ARE FOLLOWED DURING CONSTRUCTION. THE CONTRACTOR SHALL USE THESE CONTRACT DOCUMENTS AS A BASIS FOR THE BID. IF THE OWNER ELECTS TO PROVIDE A GEOTECHNICAL REPORT, THE CONTRACTOR SHALL REVIEW THE REPORT AND SUBMIT AN APPROPRIATE CHANGE ORDER TO THE OWNER'S REPRESENTATIVE IF ADDITIONAL COSTS ARE REQUESTED.
- 8. CONTRACTOR SHALL CONFIRM THAT SITE CONDITIONS ARE SIMILAR TO THE PLANS, WITHIN TOLERANCES STATED IN THE CONTRACT DOCUMENTS, AND SATISFACTORY TO THE CONTRACTOR PRIOR TO START OF WORK. SHOULD SITE CONDITIONS BE DIFFERENT THAN REPRESENTED ON THE PLANS OR UNSATISFACTORY TO THE CONTRACTOR, THE CONTRACTOR SHALL CONTACT THE OWNER'S REPRESENTATIVE FOR CLARIFICATION AND FURTHER DIRECTION.
- 9. CONTRACTOR IS RESPONSIBLE TO PAY FOR, AND OBTAIN, ANY REQUIRED APPLICATIONS, PERMITTING, LICENSES, INSPECTIONS AND METERS ASSOCIATED WITH WORK.
- 10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER RELATING TO ANY VIOLATIONS OR NON-CONFORMANCE WITH THE PLANS, SPECIFICATIONS, CONTRACT DOCUMENTS, JURISDICTIONAL CODES, AND REGULATORY AGENCIES.
- 11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL UTILITY LOCATES PRIOR TO ANY EXCAVATION. REFER TO ENGINEERING UTILITY PLANS FOR ALL PROPOSED UTILITY LOCATIONS AND DETAILS. NOTIFY OWNER'S REPRESENTATIVE IF EXISTING OR PROPOSED UTILITIES INTERFERE WITH THE ABILITY TO PERFORM WORK.
- 12. UNLESS IDENTIFIED ON THE PLANS FOR DEMOLITION OR REMOVAL, THE CONTRACTOR IS RESPONSIBLE FOR THE COST TO REPAIR UTILITIES, ADJACENT OR EXISTING LANDSCAPE, ADJACENT OR EXISTING PAVING, OR ANY PUBLIC AND PRIVATE PROPERTY THAT IS DAMAGED BY THE CONTRACTOR OR THEIR SUBCONTRACTOR'S OPERATIONS DURING INSTALLATION, ESTABLISHMENT OR DURING THE SPECIFIED MAINTENANCE PERIOD. ALL DAMAGES SHALL BE REPAIRED TO PRE-CONSTRUCTION CONDITIONS AS DETERMINED BY THE OWNER'S REPRESENTATIVE. CONTRACTOR SHALL BE RESPONSIBLE FOR LOGGING ANY DAMAGES PRIOR TO START OF CONSTRUCTION AND DURING THE CONTRACT PERIOD.
- 13. ALL WORK SHALL BE CONFINED TO THE AREA WITHIN THE CONSTRUCTION LIMITS AS SHOWN ON THE PLANS. ANY AREAS OR IMPROVEMENTS DISTURBED OUTSIDE THESE LIMITS SHALL BE RETURNED TO THEIR ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE. IN THE EVENT THE CONTRACTOR REQUIRES A MODIFICATION TO THE CONSTRUCTION LIMITS, WRITTEN PERMISSION MUST BE OBTAINED FROM THE OWNER'S REPRESENTATIVE PRIOR TO ANY DISTURBANCE OUTSIDE OF THE LIMITS OF WORK.
- 14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OF ANY OF THEIR TRENCHES OR EXCAVATIONS THAT SETTLE.
- 15. THE CONTRACTOR SHALL BE RESPONSIBLE TO PREPARE AND SUBMIT A TRAFFIC CONTROL PLAN TO THE APPROPRIATE JURISDICTIONAL AGENCIES AND THE OWNER'S REPRESENTATIVE IF THEIR WORK AND OPERATIONS AFFECT OR IMPACT THE PUBLIC RIGHTS-OF-WAY. OBTAIN APPROVAL PRIOR TO ANY WORK WHICH AFFECTS OR IMPACTS THE PUBLIC RIGHTS-OF-WAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER RELATING TO THIS REQUIREMENT DURING THE CONTRACT PERIOD.
- 16. SIGHT TRIANGLES AND SIGHT LINES SHALL REMAIN UNOBSTRUCTED BY EQUIPMENT,
  CONSTRUCTION MATERIALS, PLANT MATERIAL OR ANY OTHER VISUAL OBSTACLE DURING THE
  CONTRACT PERIOD AND AT MATURITY OF PLANTS PER LOCAL JURISDICTIONAL
  REQUIREMENTS. NO PLANT MATERIAL OTHER THAN GROUND COVER IS ALLOWED TO BE
- PLANTED ADJACENT TO FIRE HYDRANTS AS STIPULATED BY JURISDICTIONAL REQUIREMENTS.

  17. COORDINATE SITE ACCESS, STAGING, STORAGE AND CLEANOUT AREAS WITH OWNER'S REPRESENTATIVE.
- 18. CONTRACTOR IS RESPONSIBLE FOR PROVIDING TEMPORARY SAFETY FENCING AND BARRIERS AROUND ALL IMPROVEMENTS SUCH AS WALLS, PLAY STRUCTURES, EXCAVATIONS, ETC. ASSOCIATED WITH THEIR WORK UNTIL SUCH FACILITIES ARE COMPLETELY INSTALLED PER THE PLANS, SPECIFICATIONS AND MANUFACTURER'S RECOMMENDATIONS.
- 19. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF THEIR MATERIAL STOCK PILES AND WORK FROM VANDALISM, EROSION OR UNINTENDED DISTURBANCE DURING THE CONSTRUCTION PERIOD AND UNTIL FINAL ACCEPTANCE IS ISSUED.

- 20. THE CONTRACTOR SHALL KNOW, UNDERSTAND AND ABIDE BY ANY STORM WATER POLLUTION PREVENTION PLAN (SWPPP) ASSOCIATED WITH THE SITE. IF A STORM WATER POLLUTION PREVENTION PLAN IS NOT PROVIDED BY THE OWNER'S REPRESENTATIVE, REQUEST A COPY BEFORE PERFORMANCE OF ANY SITE WORK.
- 21. MAINTAIN ANY STORM WATER MANAGEMENT FACILITIES THAT EXIST ON SITE FOR FULL FUNCTIONALITY. THE CONTRACTOR SHALL INSTALL AND MAINTAIN ANY NEW STORM WATER MANAGEMENT FACILITIES THAT ARE IDENTIFIED IN THE SCOPE OF WORK TO FULL FUNCTIONALITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER FOR FAILURE TO MAINTAIN STORM WATER MANAGEMENT FACILITIES DURING THE CONTRACT PERIOD.
- 22. THE CONTRACTOR SHALL PREVENT SEDIMENT, DEBRIS AND ALL OTHER POLLUTANTS FROM EXITING THE SITE OR ENTERING THE STORM SEWER SYSTEM DURING ALL DEMOLITION OR CONSTRUCTION OPERATIONS THAT ARE PART OF THIS PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER RELATING TO THESE REQUIREMENTS DURING THEIR CONTRACTED COURSE OF WORK.
- 23. THE CONTRACTOR SHALL BE RESPONSIBLE TO PREVENT ANY IMPACTS TO ADJACENT WATERWAYS, WETLANDS, OR OTHER ENVIRONMENTALLY SENSITIVE AREAS RESULTING FROM WORK DONE AS PART OF THIS PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER RELATING TO THESE STANDARDS DURING THEIR CONTRACTED COURSE OF WORK.
- 24. THE CONTRACTOR AND/OR THEIR AUTHORIZED AGENTS SHALL INSURE THAT ALL LOADS OF CONSTRUCTION MATERIAL IMPORTED TO OR EXPORTED FROM THE PROJECT SITE SHALL BE PROPERLY COVERED TO PREVENT LOSS OF MATERIAL DURING TRANSPORT.

  TRANSPORTATION METHODS ON PUBLIC RIGHT-OF WAYS SHALL CONFORM TO JURISDICTIONAL REQUIREMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER RELATING TO THESE REQUIREMENTS.
- 25. THE CLEANING OF EQUIPMENT IS PROHIBITED AT THE JOB SITE UNLESS AUTHORIZED BY THE OWNER'S REPRESENTATIVE IN A DESIGNATED AREA. THE DISCHARGE OF WATER, WASTE CONCRETE, POLLUTANTS, OR OTHER MATERIALS SHALL ONLY OCCUR IN AREAS DESIGNED FOR SUCH USE AND APPROVED BY THE OWNER'S REPRESENTATIVE.
- 26. THE CLEANING OF CONCRETE EQUIPMENT IS PROHIBITED AT THE JOB SITE EXCEPT IN DESIGNATED CONCRETE WASHOUT AREAS. THE DISCHARGE OF WATER CONTAINING WASTE CONCRETE IN THE STORM SEWER IS PROHIBITED.
- 27. OPEN SPACE SWALES: IF SWALES ARE EXISTING ON SITE AND ARE NOT INTENDED TO BE MODIFIED AS PART OF THE PLANS, THE CONTRACTOR SHALL BE RESPONSIBLE TO MAINTAIN THE CONVEYANCE OF WATER WITHIN THE SWALES DURING THE CONTRACT PERIOD. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DIVERSION OR PUMPING OF WATER IF REQUIRED TO COMPLETE WORK. ANY SWALES DISTURBED BY THE CONTRACTOR SHALL BE REPAIRED/RESTORED TO THEIR ORIGINAL CONDITION. IF THE SWALE NEEDS TO BE DISTURBED OR MODIFIED FOR ANY REASON, THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE FOR APPROVAL PRIOR TO DISTURBANCE.
- 28. DETENTION AND WATER QUALITY PONDS: IF DETENTION PONDS AND WATER QUALITY PONDS ARE EXISTING ON SITE AND ARE NOT INTENDED TO BE MODIFIED AS PART OF THE PLANS, THE CONTRACTOR SHALL MINIMIZE DISTURBANCE TO THE PONDS, DRAINAGE STRUCTURES AND SPILLWAYS DURING CONSTRUCTION. ALL PONDS, DRAINAGE STRUCTURES AND SPILLWAYS SHALL BE MAINTAINED IN OPERABLE CONDITIONS AT ALL TIMES. ANY POND OR SPILLWAY AREAS DISTURBED BY THE CONTRACTOR SHALL BE REPAIRED/RESTORED TO THEIR ORIGINAL CONDITION. IF THE POND NEEDS TO BE DISTURBED OR MODIFIED FOR ANY REASON, THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE FOR APPROVAL PRIOR TO DISTURBANCE.
- 29. MAINTENANCE ACCESS BENCHES: IF MAINTENANCE BENCHES OR ACCESS ROADS EXIST ON SITE AND ARE NOT INTENDED TO BE MODIFIED AS PART OF THE PLANS, THE CONTRACTOR SHALL MINIMIZE DISTURBANCE TO THE BENCHES OR ACCESS ROADS DURING CONSTRUCTION. ANY BENCHES OR ACCESS ROADS DISTURBED BY THE CONTRACTOR SHALL BE REPAIRED/RESTORED TO THEIR ORIGINAL CONDITION. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL EXISTING BENCHES AND ACCESS ROADS DURING THE CONSTRUCTION PERIOD. IF ACCESS NEEDS TO BE BLOCKED FOR ANY REASON, THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE FOR APPROVAL PRIOR TO INTERRUPTION OF
- 30. LOCAL, STATE AND FEDERAL JURISDICTIONAL REQUIREMENTS, RESTRICTIONS OR PROCEDURES SHALL SUPERSEDE THESE PLANS, NOTES AND SPECIFICATIONS WHEN MORE STRINGENT. NOTIFY THE OWNER'S REPRESENTATIVE IF CONFLICTS OCCUR.

#### LANDSCAPE NOTES

- 1. THE CONTRACTOR SHALL FOLLOW THE LANDSCAPE PLANS AND SPECIFICATIONS AS CLOSELY AS POSSIBLE. ANY SUBSTITUTION OR ALTERATION SHALL NOT BE ALLOWED WITHOUT APPROVAL OF THE OWNER'S REPRESENTATIVE. OVERALL PLANT QUANTITY AND QUALITY SHALL BE CONSISTENT WITH THE PLANS.
- 2. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL PLANT QUANTITIES. GRAPHIC QUANTITIES TAKES PRECEDENCE OVER WRITTEN QUANTITIES.
- 3. THE OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO INSPECT AND TAG ALL PLANT MATERIAL PRIOR TO SHIPPING TO THE SITE. IN ALL CASES, THE OWNER'S REPRESENTATIVE MAY REJECT PLANT MATERIAL AT THE SITE IF MATERIAL IS DAMAGED, DISEASED, OR DECLINING IN HEALTH AT THE TIME OF ONSITE INSPECTIONS OR IF THE PLANT MATERIAL DOES NOT MEET THE MINIMUM SPECIFIED STANDARD IDENTIFIED ON THE PLANS AND IN THE SPECIFICATIONS. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER'S REPRESENTATIVE FOR INSPECTION AND APPROVAL OF ALL MATERIALS AND PRODUCTS PRIOR TO INSTALLATION.
- 4. THE OWNER'S REPRESENTATIVE MAY ELECT TO UPSIZE PLANT MATERIAL AT THEIR DISCRETION BASED ON SELECTION, AVAILABILITY, OR TO ENHANCE SPECIFIC AREAS OF THE PROJECT. THE CONTRACTOR SHALL VERIFY PLANT MATERIAL SIZES WITH OWNER'S REPRESENTATIVE PRIOR TO PURCHASING, SHIPPING OR STOCKING OF PLANT MATERIALS. SUBMIT CHANGE ORDER REQUEST TO OWNER'S REPRESENTATIVE FOR APPROVAL IF ADDITIONAL COST IS REQUESTED BY THE CONTRACTOR PRIOR TO INSTALLATION. RE-STOCKING CHARGES WILL NOT BE APPROVED IF THE CONTRACTOR FAILS TO SUBMIT A REQUEST FOR MATERIAL CHANGES.
- 5. THE CONTRACTOR SHALL WARRANTY ALL CONTRACTED WORK AND MATERIALS FOR A PERIOD OF ONE YEAR AFTER SUBSTANTIAL COMPLETION HAS BEEN ISSUED BY THE OWNER'S REPRESENTATIVE FOR THE ENTIRE PROJECT UNLESS OTHERWISE SPECIFIED IN THE CONTRACT DOCUMENTS OR SPECIFICATIONS.
- 6. REFER TO IRRIGATION PLANS FOR LIMITS AND TYPES OF IRRIGATION DESIGNED FOR THE LANDSCAPE. IN NO CASE SHALL IRRIGATION BE EMITTED WITHIN THE MINIMUM DISTANCE FROM BUILDING OR WALL FOUNDATIONS AS STIPULATED IN THE GEOTECHNICAL REPORT. ALL IRRIGATION DISTRIBUTION LINES, HEADS AND EMITTERS SHALL BE KEPT OUTSIDE THE MINIMUM DISTANCE AWAY FROM ALL BUILDING AND WALL FOUNDATIONS AS STIPULATED IN THE GEOTECHNICAL REPORT.
- 7. LANDSCAPE MATERIAL LOCATIONS SHALL HAVE PRECEDENCE OVER IRRIGATION MAINLINE AND LATERAL LOCATIONS. COORDINATE INSTALLATION OF IRRIGATION EQUIPMENT SO THAT IT DOES NOT INTERFERE WITH THE PLANTING OF TREES OR OTHER LANDSCAPE
- 8. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING POSITIVE DRAINAGE EXISTS IN ALL LANDSCAPE AREAS. SURFACE DRAINAGE ON LANDSCAPE AREAS SHALL NOT FLOW TOWARD STRUCTURES AND FOUNDATIONS. MAINTAIN SLOPE AWAY FROM FOUNDATIONS PER THE GEOTECHNICAL REPORT RECOMMENDATIONS. ALL LANDSCAPE AREAS BETWEEN WALKS AND CURBS SHALL DRAIN FREELY TO THE CURB UNLESS OTHERWISE IDENTIFIED ON THE GRADING PLAN. IN NO CASE SHALL THE GRADE, TURF THATCH, OR OTHER LANDSCAPE MATERIALS DAM WATER AGAINST WALKS. MINIMUM SLOPES ON LANDSCAPE AREAS SHALL BE 2%; MAXIMUM SLOPE SHALL BE 25% UNLESS SPECIFICALLY IDENTIFIED ON THE PLANS OR APPROVED BY THE OWNER'S REPRESENTATIVE.
- 9. PRIOR TO INSTALLATION OF PLANT MATERIALS, AREAS THAT HAVE BEEN COMPACTED OR DISTURBED BY CONSTRUCTION ACTIVITY SHALL BE THOROUGHLY LOOSENED TO A DEPTH OF 8" 12" AND AMENDED PER SPECIFICATIONS.
- 10. ALL LANDSCAPED AREAS ARE TO RECEIVE ORGANIC SOIL PREPARATION AT 4 cu.yrds/1,000sf OR AS NOTED IN THE TECHNICAL SPECIFICATIONS.
- 11. TREES SHALL NOT BE LOCATED IN DRAINAGE SWALES, DRAINAGE AREAS, OR UTILITY EASEMENTS. CONTACT OWNER'S REPRESENTATIVE FOR RELOCATION OF PLANTS IN QUESTIONABLE AREAS PRIOR TO INSTALLATION.
- 12. THE CENTER OF EVERGREEN TREES SHALL NOT BE PLACED CLOSER THAN 8' AND THE CENTER OF ORNAMENTAL TREES CLOSER THAN 6' FROM A SIDEWALK, STREET OR DRIVE LANE. EVERGREEN TREES SHALL NOT BE LOCATED ANY CLOSER THAN 15' FROM IRRIGATION ROTOR HEADS. NOTIFY OWNER'S REPRESENTATIVE IF TREE LOCATIONS CONFLICT WITH THESE STANDARDS FOR FURTHER DIRECTION.
- 13. ALL EVERGREEN TREES SHALL BE FULLY BRANCHED TO THE GROUND AND SHALL NOT EXHIBIT SIGNS OF ACCELERATED GROWTH AS DETERMINED BY THE OWNER'S REPRESENTATIVE.
- 14. ALL TREES ARE TO BE STAKED AND GUYED PER DETAILS FOR A PERIOD OF 1 YEAR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING STAKES AT THE END OF 1 YEAR FROM ACCEPTANCE OF LANDSCAPE INSTALLATION BY THE OWNER'S REPRESENTATIVE. OBTAIN APPROVAL BY OWNER'S REPRESENTATIVE PRIOR TO REMOVAL.
- 15. ALL TREES INSTALLED ABOVE RETAINING WALLS UTILIZING GEO-GRID MUST BE HAND DUG TO PROTECT GEO-GRID. IF GEO-GRID MUST BE CUT TO INSTALL TREES, APPROVAL MUST BE GIVEN BY OWNER'S REPRESENTATIVE PRIOR TO DOING WORK.
- 16. TREE WRAP SHALL BE APPLIED IN LATE FALL AFTER INSTALLATION AND REMOVED THE FOLLOWING SPRING. TREES GREATER THEN 4" IN CALIPER MAY NOT REQUIRE TREE WRAP

IF BARK IS SUFFICIENTLY DEVELOPED. OBTAIN APPROVAL FROM OWNER'S REPRESENTATIVE FOR ANY TREES THAT WILL NOT BE WRAPPED.

- 17. ALL TREES IN SEED OR TURF AREAS SHALL RECEIVE MULCH RINGS. OBTAIN APPROVAL FROM OWNER'S REPRESENTATIVE FOR ANY TREES THAT WILL NOT BE MULCHED FOR EXCESSIVE MOISTURE REASONS.
- 18. SHRUB, GROUNDCOVER AND PERENNIAL BEDS ARE TO BE CONTAINED BY 4" x 14 GAUGE GREEN, ROLL TOP, INTERLOCKING TYPE EDGER, RYERSON OR EQUAL. EDGER IS NOT REQUIRED WHEN ADJACENT TO CURBS, WALLS, WALKS OR SOLID FENCES WITHIN 3" OF PRE-MULCHED FINAL GRADE. EDGER SHALL NOT BE REQUIRED TO SEPARATE MULCH TYPES UNLESS SPECIFIED ON THE PLANS.
- 19. IN ALL CASES SHRUB, GROUNDCOVER AND PERENNIAL BEDS ADJACENT TO BUILDING AND WALL FOUNDATIONS SHALL BE CONTAINED BY 14 GAUGE GREEN, ROLL TOP, INTERLOCKING TYPE PERFORATED EDGER, RYERSON OR EQUAL. EDGER SHALL NOT RESTRICT THE FREE FLOW OF DRAINAGE OR DAM WATER IN ANY CASE. EDGER IS NOT REQUIRED WHEN ADJACENT TO CURBS, WALLS, WALKS OR SOLID FENCES WITHIN 3" OF PRE-MULCHED FINAL GRADE. EDGER SHALL NOT BE REQUIRED TO SEPARATE MULCH TYPES UNLESS SPECIFIED ON THE PLANS.
- 20. ALL SHRUB BEDS ARE TO BE MULCHED WITH MIN. 3" DEPTH, 1-2" ROCK MULCH OR 4-6" ROCK MULCH OVER SPECIFIED GEOTEXTILE WEED CONTROL FABRIC. REFER TO PLANS FOR LOCATIONS. ALL GROUND COVER AND PERENNIAL FLOWER BEDS SHALL BE MULCHED WITH 3" DEPTH 1-2" ROCK MULCH. NO WEED CONTROL FABRIC IS REQUIRED IN GROUNDCOVER OR PERENNIAL AREAS.
- 21. AT SEED AREA BOUNDARIES ADJACENT TO EXISTING NATIVE AREAS, OVERLAP ABUTTING NATIVE AREAS BY THE FULL WIDTH OF THE SEEDER.
- 22. CONTRACTOR SHALL OVER SEED ALL MAINTENANCE OR SERVICE ACCESS BENCHES AND ROADS WITH SPECIFIED SEED MIX UNLESS OTHERWISE NOTED ON THE PLANS.
- 23. ALL SEEDED SLOPES EXCEEDING 25% IN GRADE (4:1) SHALL RECEIVE EROSION CONTROL BLANKETS. PRIOR TO INSTALLATION, NOTIFY OWNER'S REPRESENTATIVE FOR APPROVAL OF LOCATION AND ANY ADDITIONAL COST IF A CHANGE ORDER IS NECESSARY.
- 24. WHEN COMPLETE, ALL GRADES SHALL BE WITHIN +/- 1/8" OF FINISHED GRADES AS SHOWN ON THE PLANS.
- 25. SOFT SURFACE TRAILS NEXT TO MANICURED TURF OR SHRUB BEDS SHALL BE CONTAINED WITH 4" x 14 GAUGE GREEN ROLL TOP EDGER, RYERSON OR EQUAL.
- 26. THE DEVELOPER, HIS SUCCESSORS AND ASSIGNS SHALL BE RESPONSIBLE FOR THE INSTALLATION, MAINTENANCE AND REPLACEMENT OF ALL IMPROVEMENTS SHOWN OR INDICATED ON THE APPROVED LANDSCAPE PLAN ON FILE IN THE PLANNING DEPARTMENT

NORRIS DESIGN

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VILLOUGHBY CORNE

OWNER:

BOULDER COUNTY HOUSING AUTHORITY 2525 13th ST, SUITE 204 BOULDER, CO 80302 303-441-1000

NOT FOR CONSTRUCTION

DATE:

03/27/20 PRE PLAN

SHEET TITLE: LANDSCAPE NOTES

L001

BY: JB

## PLANT SCHEDULE

DECIDUOUS TREES	BOTANICAL / COMMON NAME	ROOT	SIZE	QTY	VERY LOW	LOW	MEDIUM	HIGH
CA SP	CATALPA SPECIOSA / NORTHERN CATALPA	B & B	2"CAL	<u>QTY</u> 13		$\overline{X}$		
CE OC	CELTIS OCCIDENTALIS / COMMON HACKBERRY	B & B	2"CAL	14		Χ		
GL IM	GLEDITSIA TRIACANTHOS INERMIS 'IMPERIAL' / IMPERIAL HONEYLOCUST	B&B	2"CAL	20		^	Χ	
GY DI	GYMNOCLADUS DIOICA 'ESPRESSO' / KENTUCKY COFFEETREE	B&B	2"CAL	34		Χ	<b>X</b>	
KO PA	KOELREUTERIA PANICULATA / GOLDENRAIN TREE	B&B	2 CAL 2"CAL	12		X		
							V	
PO AC	POPULUS X ACUMINATA / LANCELEAF POPLAR	B&B	2"CAL	6		X	Χ	
QU MA	QUERCUS MACROCARPA / BURR OAK	B & B	2"CAL	22		X		
QU MU	QUERCUS MUEHLENBERGII / CHINKAPIN OAK	B & B	2"CAL	6		Χ		
QU CR	QUERCUS ROBUR `CRIMSCHMIDT` TM / CRIMSCHMIDT ENGLISH OAK	B & B	2"CAL	45			Χ	
SY RE	SYRINGA RETICULATA / JAPANESE TREE LILAC	B & B	6` HEIGHT	12	Χ	Χ	X	
TI GR	TILIA CORDATA `GREENSPIRE` / GREENSPIRE LITTLELEAF LINDEN	B & B	2"CAL	12			Χ	
UL CC	ULMUS DAVIDIANA CHOICECITY / CHOICE CITY ELM	B & B	2"CAL	31			Χ	
EVERGREEN TREES	BOTANICAL / COMMON NAME	ROOT	<u>SIZE</u>	<u>QTY</u>	<u>VERY LOW</u>	<u>LOW</u>	<u>MEDIUM</u>	<u>HIGH</u>
JU SC	JUNIPERUS SCOPULORUM / ROCKY MOUNTAIN JUNIPER	B & B	6` HEIGHT	54		Χ		
PI PU	PICEA PUNGENS / COLORADO SPRUCE	B & B	6' HEIGHT	4	Χ	Χ		
PI FA	PICEA PUNGENS 'FASTIGATA' / FASTIGIATE COLORADO SPRUCE	B & B	6` HEIGHT	23			Χ	
PI BA	PICEA PUNGENS GLAUCA 'BAKERI' / BAKERI BLUE SPRUCE	B & B	6' HEIGHT	8			Χ	
PI ED	PINUS EDULIS / PINON PINE	B & B	6` HEIGHT	13		Χ		
PS ME	PSEUDOTSUGA MENZIESII / DOUGLAS FIR	B & B	6` HEIGHT	10		,,	Χ	Χ
1 O ME	1 GEODO TOGO, (MENZIEGII) DOGGENO I IIX	Dub	O TILIOTTI	10			X	Λ
FRUIT TREES	BOTANICAL / COMMON NAME	ROOT	SIZE	QTY	<b>VERY LOW</b>	LOW	MEDIUM	HIGH
MA DO	MALUS X `DOLGO` / DOLGO CRABAPPLE	B & B	1.5"CAL	4			X	X
MA OE	MALUS X DOMESTICA `MCINTOSH` / MCINTOSH APPLE	B & B	1.5"CAL	2				
MA RE	MALUS X DOMESTICA 'RED DELICIOUS' / RED DELICIOUS APPLE	B&B	1.5"CAL	2			Χ	
PR AV	PRUNUS AVIUM `STELLA` / STELLA SWEET CHERRY	B&B	1.5"CAL	1			X	
PR MO	PRUNUS CERASUS `MONTMORENCY` / MONTMORENCY CHERRY	B&B	1.5 CAL 1.5"CAL	2			X	
				2			^ V	V
PR ST	PRUNUS DOMESTICA `STANLEY` / STANLEY PLUM	B & B	1.5"CAL	3			٨	Χ
ORNAMENTAL TREES	BOTANICAL / COMMON NAME	ROOT	SIZE	OTY	VERY LOW	LOW	MEDIUM	HIGH
AC FL	ACER GINNALA `FLAME` / FLAME AMUR MAPLE	B & B	1.5"CAL	QTY 2	VEIXT LOVV	<u></u>	IVILDIOIVI	<u>111011</u>
	ACER TATARICUM `HOT WINGS` / HOT WINGS TATARIAN MAPLE					^ V		
AC HW		B&B	1.5"CAL	10		X		
CR AM	CRATAEGUS AMBIGUA / RUSSIAN HAWTHORN	B & B	1.5"CAL	29		X		
CR CR	CRATAEGUS CRUS-GALLI INERMIS 'CRUSADER' / CRUSADER COCKSPUR HAWTHORN	B & B	1.5"CAL	42		Χ		
HE MI	HEPTACODIUM MICONIOIDES / SEVEN SONS FLOWER	B & B	6' CLUMP	27			X	
MA RB	MALUS X `RED BARRON` / RED BARRON CRAB APPLE	B & B	1.5"CAL	51			X	
MA SS	MALUS X `SPRING SNOW` / SPRING SNOW CRAB APPLE	B & B	1.5"CAL	4			Χ	
MA TH	MALUS X `THUNDERCHILD` / THUNDERCHILD CRAB APPLE	B & B	1.5"CAL	57			Χ	
PR CH	PRUNUS X VIRGINIANA `P002` / SUCKER PUNCH CANADA CHOKECHERRY	B & B	1.5"CAL	24		Χ		
QU GA	QUERCUS GAMBELII / GAMBEL OAK	B & B	6' CLUMP	32		Χ		

#### TURF GRASS BLEND: SOD

"90/10 FESCUE/ BLUEGRASS BLEND" BY BITTERSWEET TUI	RF FARMS, INC, OR APPROVED EQUAI
COMMON NAME	% OF TOTAL
EXCALIBER FESCUE	30%
REBEL JR. FESCUE	30%
CREW CUT FESCUE	30%
FREEDOM BLUEGRASS	5%
RAM I BLUEGRASS	5%
	TOTAL 100%

## NATIVE GRASS: SEED

"PBSI LOW GROW NATIVE" BY PAWNEE BUTTES SEED INC., OR APPROVED EQUAL

COMMON NAME	% OF TOTAL
IDAHO FESCUE	30%
SANDBERG BLUEGRASS	30%
ROCKY MOUNTAIN FESCUE	30%
BIG BLUEGRASS	5%

TOTAL

100%

SEEDING RATE: 5 LBS/1,000 S.F.  $\forall$   $\forall$   $\forall$ · • • • • •

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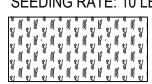
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## WETLAND GRASS: SEED

"PBSI PRAIRIE WETLAND MIX" BY PAWNEE BUTTES SEED INC., OR APPROVED EQUAL

ALKALI BULRUSH HARDSTEM BULRUSH CANADA WILDRYE NEBRASKA SEDGE **SWITCHGRASS** BALTIC RUSH **INDIANGRASS** POPCORN SEDGE PRAIRIE CORDGRASS CREEPING SPIKERUSH SOFT STEM RUSH WOOLLY SEDGE THREE SQUARE BULRUSH

SEEDING RATE: 10 LBS/ACRE

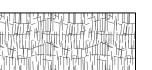


# NATIVE WILDFLOWERS: SEED

"PBSI NATIVE PRAIRIE WILDFLOWER MIX" BY PAWNEE BUTTES SEED INC., OR APPROVED EQUAL 000404001010040

COMMON NAME		
BLUE ASTER	ILLINOIS BUNDLEFLOWER	INDIAN BLANKET FLOWER
LEADPLANT	MACIMILLIAN SUNFLOWER	NARROWLEAF PENSTEMON
OXEYE SUNFLOWER	PARTRIDGE PEAS	PRAIRIE CINQUEFOIL
EVENING PRIMROSE	CANADA MILKVETCH	ANNUAL SUNFLOWER
BLACK-EYED SUSAN	BLANKETFLOWER	PLAINS COREOPSIS
PURPLE PRAIRIE CLOVER	PRAIRIE CONEFLOWER	WESTERN YARROW
SCARLET GLOBEMALLOW		

SEEDING RATE: 1/4 - 1/3 LBS/S.F.



# PRIAILNONNO PLAN VIEW - THREE STAKES

ROOT BALL DIAMETER

TREE PLANTING DETAIL

PRUNING NOTES:

ALL PRUNING SHALL COMPLY WITH ANSI A300 STANDARDS. DO NOT HEAVILY PRUNE THE TREE AT PLANTING. PRUNE ONLY CROSSOVER LIMBS, CO-DOMINANT LEADERS AND BROKEN BRANCHES. SOME INTERIOR TWIGS AND LATERAL BRANCHES MAY BE PRUNED. HOWEVER, DO NOT REMOVE THE TERMINAL BUDS OF BRANCHES THAT EXTEND TO THE EDGE OF THE CROWN.

STAKING NOTES: 1. STAKE TREES PER FOLLOWING SCHEDULE, THEN REMOVE AT END OF FIRST GROWING SEASON.

1-1 CALIPER SIZE - MIN. 1 STAKE ON SIDE OF PREVAILING WIND (GENERALLY N.W. SIDE) 1.2  $1-\frac{1}{2}$ " - 3" CALIPER SIZE - MIN. 2 STAKES - ONE ON N.W. SIDE, ONE ON S.W. SIDE (OR PREVAILING

WIND SIDE AND 180° FROM THAT SIDE) 1.3 3" CALIPER SIZE AND LARGER - 3 STAKES PER DIAGRAM

WIRE OR CABLE SHALL BE MIN. 12 GAUGE, TIGHTEN WIRE OR CABLE ONLY ENOUGH TO KEEP FROM SLIPPING. ALLOW FOR SOME TRUNK MOVEMENT. NYLON STRAPS SHALL BE LONG ENOUGH TO ACCOMMODATE 1-7 OF GROWTH AND BUFFER ALL BRANCHES FROM WIRE.

1 PLACE MIN. 2" PVC PIPE AROUND 8 GROMMETED NYLON STRAPS EACH WIRE. EXPOSED WIRE SHALL BE MAX. 2" EACH SIDE

PRUNE ALL DEAD OR DAMAGED WOOD PRIOR

SET SHRUB ROOT-BALL 1" HIGHER THAN FINISH BED

TO PLANTING

GRADE

GALVANIZED WIRE, MIN. 12 (2) 6 FT. UNTREATED WOOD POST (MIN. 1.5" DIAMETER). ALL SHALL BE DRIVEN OUTSIDE ROOTBALL 10 4-6" HIGH WATER SAUCER IN AND IN UNDISTURBED SOIL.

(3) TREE WRAP TO BE INSTALLED ONLY FROM OCTOBER 1 THROUGH APRIL 30. (DECIDUOUS

ONLY) 4 PLANT TREE SO THAT FIRST ORDER MAJOR ROOT IS 1"-2"

ABOVE FINAL GRADE. (5) 3" DEEP MULCH RING PLACED A MINIMUM OF 4 FT. IN DIAMETER. DO NOT PLACE MULCH IN CONTACT WITH TREE TRUNK (FINISHED GRADE REFERENCES

TOP OF MULCH). 6 1:1 SLOPE ON SIDES OF PLANTING PLACE ROOT BALL ON HOLE.

ROOT BALL AND TRUNK

2 AMENDED PLANTING BED TILLED TO A DEPTH OF 6" 3 CENTER OF PLANT

1 SPECIFIED MULCH

WHEN PLANTED ON A CURVE ORIENT ROWS TO FOLLOW THE LONG AXIS OF AREAS WHERE PLANTS ARE MASSED.

O.C. SPACING

PERENNIAL PLANT LAYOUT

2X CONTAINER

WIDTH

SHRUB PLANTING

SCALE: 1" = 1'-0"

1 SPECIFIED MULCH AMENDED SOIL IN PLANTING BED

TO A DEPTH OF EIGHT INCHES.

(2) PER SPECIFICATIONS. TILL SOIL

(3) FINISH GRADE (TOP OF MULCH)

1. BROKEN OR CRUMBLING ROOT-BALLS WILL BE REJECTED 2. CARE SHOULD BE TAKEN NOT TO DAMAGE THE SHRUB OR **ROOT-BALL WHEN REMOVING IT** 

FROM ITS CONTAINER 3. ALL JUNIPERS SHOULD BE PLANTED SO THE TOP OF THE ROOT-BALL OCCURS ABOVE THE FINISH GRADE OF THE MULCH

LAYER 4. DIG PLANT PIT TWICE AS WIDE AND HIGH AS THE CONTAINER

SCALE: 1-1/2" = 1'-0"

GAUGE CABLE - TWIST WIRE ONLY TO KEEP FROM SLIPPING.

NON-TURF AREAS. (11) BACKFILL WITH BLEND OF

EXISTING SOIL AND A MAXIMUM 20% (BY VOLUME) ORGANIC MATERIAL. WATER THOROUGHLY WHEN BACKFILLING

2 FT. STEEL T-POST. ALL SHALL BE DRIVEN BELOW GRADE AND OUTSIDE ROOTBALL IN UNDISTURBED SOIL.

13 PLACE SOIL AROUND ROOT BALL FIRMLY, DO NOT COMPACT OR TAMP. SETTLE SOIL WITH WATER TO FILL ALL AIR POCKETS.

UNDISTURBED SOIL TO PREVENT

(7) REMOVE ALL TWINE, ROPE, BURLAP AND WIRE FROM ENTIRE

SETTLEMENT.

SCALE: 3/16" = 1'-0"

L002

SHEET TITLE:

PLANT SCHEDULE &

LANDSCAPE DETAILS

7)))

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DATE:

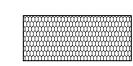
03/27/20 PRE PLAN

**NORRIS DESIGN** 

#### LANDSCAPE DESCRIPTION AND INTENT

WILLOUGHBY CORNER'S LANDSCAPE INTENT DRAWS HEAVILY FROM THE CITY OF LAFAYETTE'S DESIRE TO INCORPORATE NATURALISTIC LANDSCAPING THAT ENHANCES WILDLIFE HABITAT AND INCREASES GENERAL QUALITY OF RESIDENT LIFE. PEDESTRIAN CONNECTIONS, AS WELL AS HABITAT CORRIDORS, ARE FORMED WITHIN THE SITE THROUGH MEANS OF A CENTRAL EAST-WEST GREENWAY AND NORTH-SOUTH PARKWAY, AMPLE COURTYARD MEWS, A LARGE EASTERN OPEN SPACE, AS WELL AS EXTERIOR TRAIL CONNECTIONS ON THE BOUNDARIES OF THE SITE. THESE LANDSCAPE AREAS HAVE A PLANTING DESIGN THAT BLENDS NATIVE PLANTINGS WITH A FORMAL HARDSCAPE DESIGN TO SHOWCASE THE USE OF NATIVE PLANTINGS TO THE PUBLIC, WHILE ENHANCING THE ARCHITECTURE. USE OF MANICURED TURF IS LIMITED TO TREE LAWNS AND HIGHLY ACTIVATED AREAS, I.E. THE MULTI-USE LAWN NEAR THE COMMUNITY BUILDING. OPPORTUNITIES TO ENGAGE WITH NATURE ARE APPARENT AT THE ORCHARD, THE PLAYGROUND, THE COMMUNITY GARDEN, AND DETENTION POND WITH A WALK/BIKE LOOP THAT CONNECTS TO FLAGG DRIVE AND CONTINUES ONTO THE REGIONAL TRAIL.

#### LEGEND



HIGH WATER USE: MANICURED TURF



LOW WATER USE: SHRUB BED AND IRRIGATED NATIVE SEED



CANOPY TREES



EVERGREEN TREES



PROPERTY LINE

ORNAMENTAL TREES

#### HYDRO-ZONE TABLES

TAP TBD PERMANENT TAP

29,122 SF 318,204 SF
QUANTITY
227
407
634

TOTAL IRRIGATED AREA 347,326 SF

ANNUAL WATER BUDGET AND HYDROZONES					
HYDROZONES	SF	GALS/SEASO			
HIGH WATER ZONES 20 gals	29,122	582,440			
LOW WATER ZONES 3 gals	318,204	954,612			
TOTAL GALLONS NEEDEI	1,537,052 GALS				
TOTAL S	347,326 SF				
AVERAGE GALS/SF SEA	4.43 GALS/SF				

\_\_\_\_\_

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BOULDER, CO 80302
303-441-1000

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DATE:

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SHEET TITLE:
HYDROZONES
& WATER USE

L100

0 25 50 100 RTH SCALE 1" =50'



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SHEET TITLE: LANDSCAPE PLAN

L101

SCALE 1" =20'

**KEY MAP** 

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STEEL EDGER

**CANOPY TREES** 

ORNAMENTAL TREES

PLANTING BED WITH 4-6"

PLANTING BED WITH 1-2"

IRRIGATED NATIVE GRASS

NATIVE WETLAND GRASS

NATIVE WILDFLOWER MIX

CRUSHER FINES

PLAY SURFACE

DECORATIVE PAVERS

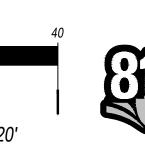
**ROCK MULCH** 

**ROCK MULCH** 

IRRIGATED TURF

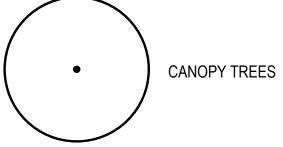
BENCH

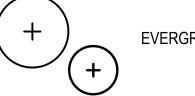
SCALE 1" =20'

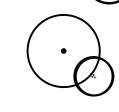


SHEET TITLE: LANDSCAPE PLAN

**LEGEND** 



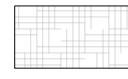




ORNAMENTAL TREES



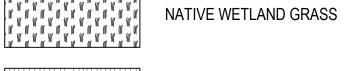
PLANTING BED WITH 4-6" **ROCK MULCH** 



PLANTING BED WITH 1-2" **ROCK MULCH** 











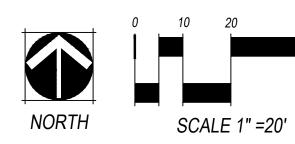




	STEEL EDGER
<del></del>	FENCE

<b>-··-</b>	PROPERTY LINE

 	R.O.W.
	BENCH





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SHEET TITLE: LANDSCAPE PLAN

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0 120th ST LAFAYETTE, CO

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SHEET TITLE: LANDSCAPE PLAN

SCALE 1" =20'

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SHEET TITLE:

LANDSCAPE PLAN

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SHEET TITLE: LANDSCAPE PLAN

SCALE 1" =20'

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//LLOUGHBY CORNEF

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SHEET TITLE: LANDSCAPE PLAN

SCALE 1" =20'

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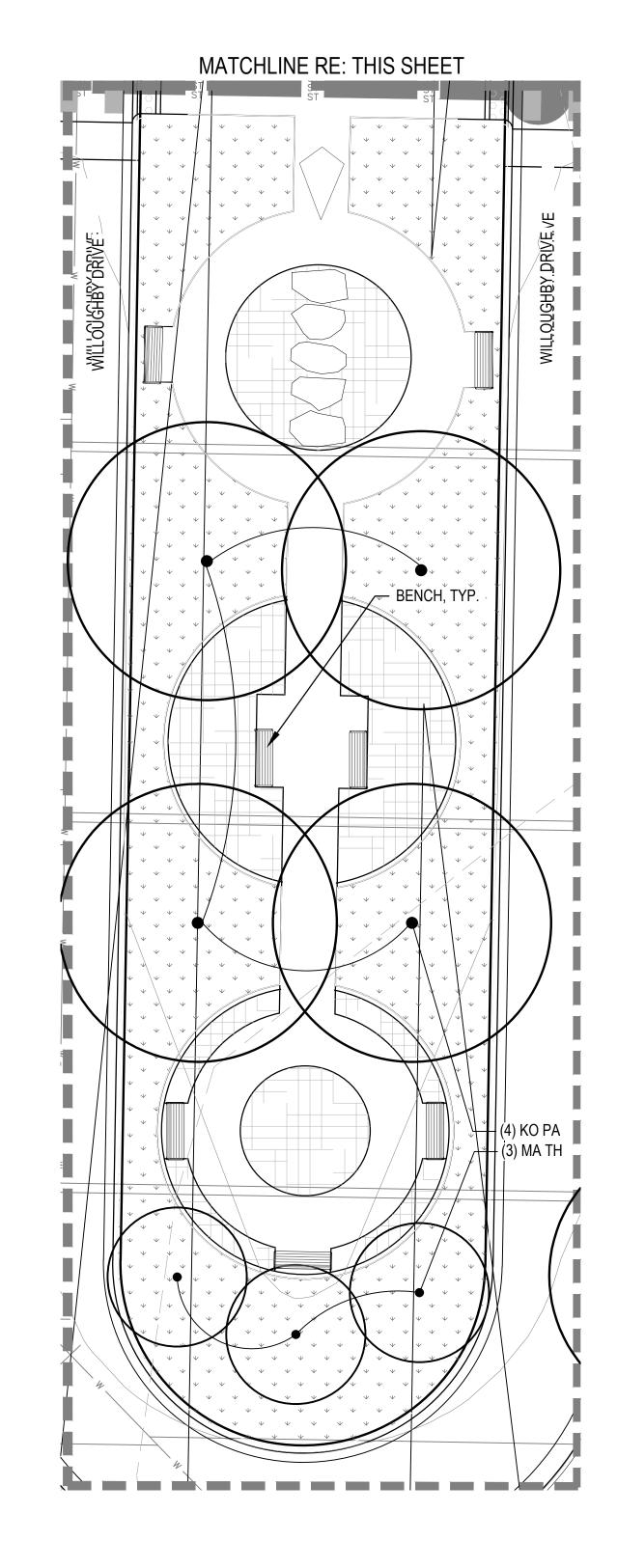
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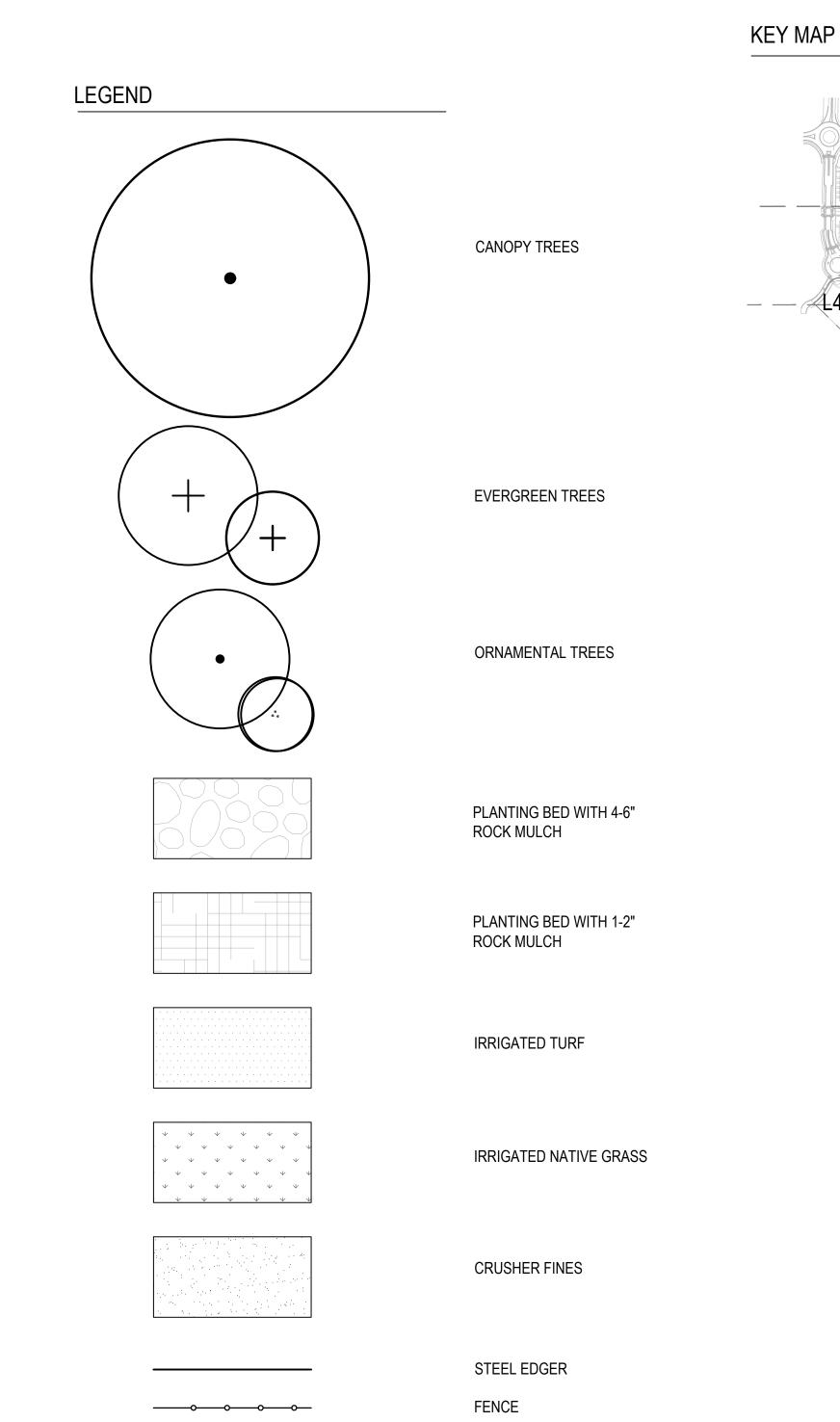
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SHEET TITLE: LANDSCAPE PLAN

SCALE 1" =20'

MATCHLINE RE: THIS SHEET





BENCH

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SHEET TITLE: LANDSCAPE **ENLARGEMENT** 

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SHEET TITLE: LANDSCAPE **ENLARGEMENT** 

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/ILLOUGHBY C 20th ST YETTE, CO

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SHEET TITLE: LANDSCAPE ENLARGEMENT

1 FINISHED GRADE - TOP OF SOD THATCH LAYER AND TOP OF 1101 Bannock Street MULCH OR CRUSHER FINES Denver, Colorado 80204 SHALL BE FLUSH WITH TOP OF P 303.892.1166

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**EDGER** 

2 TURF THATCH

4 SUBGRADE

6 EDGER STAKE

REQUIRED BY THE MANUFACTURER.

JAGGED EDGES.

1. THERE SHALL BE NO EXPOSED SHARP /

2. CONTRACTOR SHALL INSTALL STAKES AS

1 1-1/2" METAL RAIL

2 2-1/2" SQ. METAL POST

4 3/4" SQ. METAL PICKET

(7) CONCRETE FOOTER PER

® COMPACTED SUBGRADE

MANUFACTURER, SLOPE

FOR POSITIVE DRAINAGE

**CONCRETE AWAY FROM POST** 

SCREEN

COMPLIANT

3 1-3/4" SQ. METAL GATE END

5 EXPANDED / PERFORATED METAL

6 ALL GATE HARDWARE TO BE ADA

3 AMENDED SOIL PER SPECIFICATIONS

5 STEEL EDGER - DRILL (16) 1/2" DIA.

HOLES 1" O.C. MIN. AT ALL LOW

POINTS OR POORLY DRAINING AREAS IN ORDER TO ENSURE

SCALE: 1" = 1'-0"

ADEQUATE DRAINAGE

OWNER:

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03/27/20 PRE PLAN

SHEET TITLE: SITE DETAILS

1) BROWN MOSS ROCK BOULDERS RELOCATED FROM ON-SITE OR RE: MATERIALS SCHEDULE SHEET L200. CONTRACTOR SHALL SUBMIT SMALL SAMPLE OR PHOTOS FOR APPROVAL.

② SPECIFIED MULCH OR COBBLE, RE: PLAN

PARTIALLY BURY BOULDER FOR MATURAL APPEARANCE, SCARIFIED PORTIONS OF STONE

SCALE: 3/4" = 1'-0"

1 FINISH GRADE

O.C. TYPICAL

2 FINISH GRADE TO BE 1" BELOW

3 SAW CUT CONTROL JOINTS, 8'

4 6" THICK CONCRETE WITH

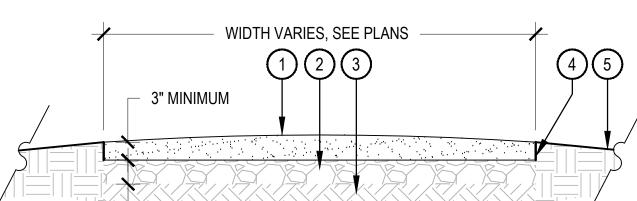
LBS. PER CUBIC YARD

STANDARD PROCTER

(5) COMPACT SUBGRADE TO 95%

CONCRETE AFTER COMPACTION

FIBERMESH ADDITIVE AT 1-1/2



AGGREGATE BASE

3 SUBGRADE COMPACTED TO 95% STANDARD PROXY DENSITY

FLUSH WITH SURROUNDING GRADE

AWAY FROM TRAIL

8'-0" O.C. TYP.

COMPACT CRUSHER FINES WET, COMPACT TO 95% STANDARD PROXY DENSITY.

USE A SMALL 4' RIDING ROLLER TO COMPACT TRAIL IN 2" LIFTS.

CROWN OF 2% IN FLAT AREAS AS SHOWN. CROSS SLOPE TRAIL AT 1-2% WITH GRADE WHERE TOPOGRAPHY DICTATES.

LONGITUDINAL SECTION OF EDGER AT **LOW POINT ENSURE POSITIVE** DRAINAGE **SECTION** 

(16) 1/2" DIA. HOLES MIN. AT

ALL LOW POINTS

(2) 4" DEPTH COMPACTED

1 COMPACTED TAN CRUSHER

FINES TRAIL, REFER TO

MATERIAL SCHEDULE, SHEET

4 4" ROLL TOP STEEL EDGER,

5 SLOPE ADJACENT GRADE

SCALE: 3/4" = 1'-0"

STEEL EDGER

CRUSHER FINES TRAIL WITH EDGER

1 2-1/2" METAL SQ. POST ② 1-1/2" X 1-7/16" METAL RAIL

3 3/4" SQ. X 18 GAUGE METAL PICKET, 3" ON CENTER

4 EXPANDED / PERFORATED METAL

(5) 2½" SQ. X 16 GAUGE METAL POST

6 CONCRETE FOOTING PER MANUFACTURER, SLOPE **CONCRETE AWAY FROM POST** FOR POSITIVE DRAINAGE

7 COMPACTED SUBGRADE

PRODUCT INFORMATION:
MANUFACTURER: AMERISTAR MODEL: MONTAGE PLUS (CUSTOM) STYLE: MAJESTIC 3 RAIL COLOR: BLACK OR APPROVED EQUAL

2'-4" 4'-0"

> 3-15/16" TYP. PRODUCT INFORMATION:

STYLE: MAJESTIC 3 RAIL COLOR: BLACK OR APPROVED EQUAL

4' HT. FENCE GATE

4' HT. FENCE

SCALE: 1/2" = 1'-0"

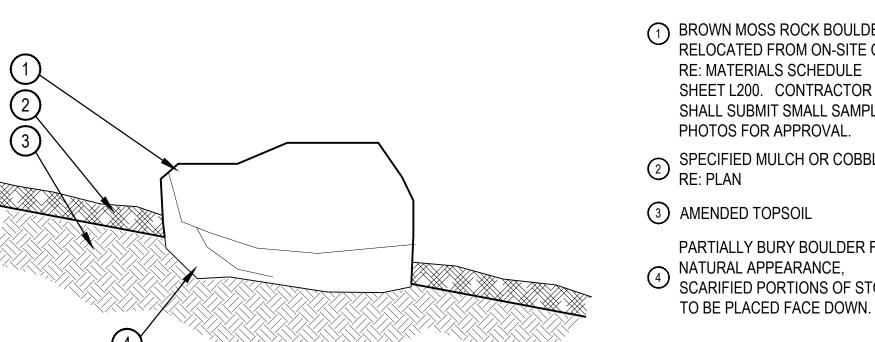
MODEL: MONTAGE PLUS (CUSTOM)

MANUFACTURER: AMERISTAR

SCALE: 1/2" = 1'-0"

DATE:

L500

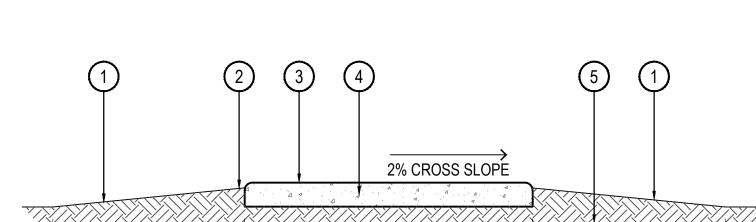


REQUIRED BOULDERS:

A (8) - 1 TON BOULDERS B (5) -  $1\frac{1}{2}$  TON BOULDERS C (8) - 2 TON BOULDERS

- REFER TO PLANS FOR LOCATIONS. - THESE NUMBERS ARE FOR FREE STANDING BOULDERS ONLY

LANDSCAPE BOULDER



- WIDTH VARIES, SEE PLAN — 🖟 4' SHOULDER — 🧳

**CONCRETE TRAIL** 

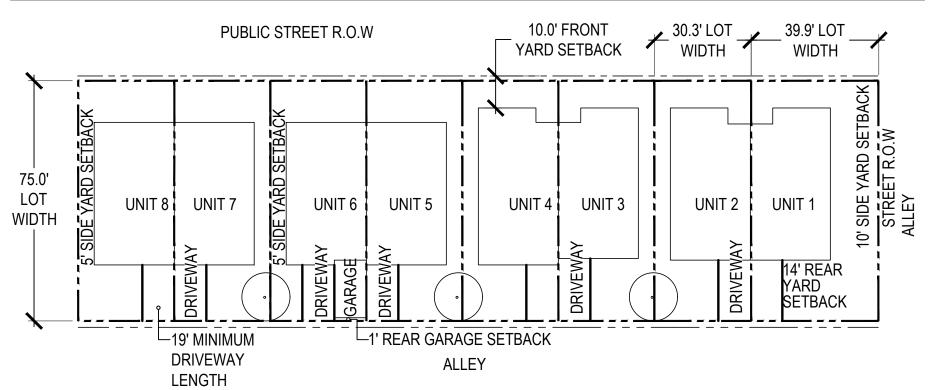
SCALE: 1/2" = 1'-0"

## DEVELOPMENT STANDARDS TABLE

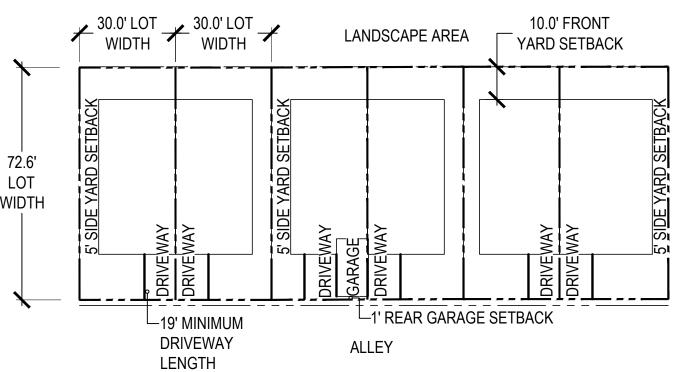
CODE MODIFICATIONS REQUESTED				
DEVELOPMENT STANDARDS	REQUIRED	PROPOSED		
FRONT YARD SETBACK AT COLLECTOR	35'	14'		
FRONT YARD SETBACK AT LOCAL	30'	14'		
TOWNHOME FRONT SETBACK	5'	5'		
DUPLEX FRONT SETBACK	10'	10'		
DUPLEX SIDE YARD SETBACK	5'-15'	0'		
REAR YARD SETBACK	30'	5'		
TOWNHOME REAR SETBACK	5'	0'		
DUPLEX REAR SETBACK	1'	1'		
DUPLEX MINIMUM LOT SIZE	6,000	2,000		
MAXIMUM LOT COVERAGE (NET)	30%	90% (TOWNHOMES)		
MAXIMUM LOT COVERAGE (GROSS)	30%	30%		
MAXIMUM BUILDING HEIGHT	35'	35'		
MAXIMUM BUILDING FLOORS	3	3		
LOCAL STREET CROSS-SECTION	39' FL TO FL	38' FL TO FL		
1 BR MULTI-FAMILY PARKING PER UNIT	1.5	1.2		
1 BR SENIOR PARKING PER UNIT	1.5	1.0		
2 BR SENIOR PARKING PER UNIT	2.0	1.7		

PLANNED RESIDENTIAL UNITS						
TOTAL UNITS 1 BED 2 BED 3 BED						
DUPLEX	30	0	18	12		
TOWNHOUSE	130	32	70	28		
MULTI-FAMILY	120	60	50	10		
SENIOR MULTI-FAMILY	120	78	42	0		
TOTALS	400	170	180	50		

## LOT TYPICALS

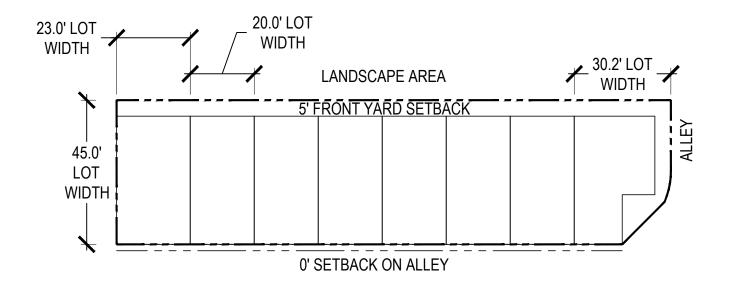


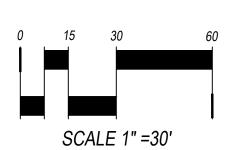
## **DUPLEX A**



# DUPLEX B

**TOWNHOMES** 





## LANDSCAPE REQUIREMENTS TABLE

REQUIREMENT	REQUIREMENT	TREES REQUIRED	TREES PROVIDED
REFERENCE	TEGOTI (EMELT)	THEEOTHEGONIED	TREESTROVIBEB
	Install trees on site, a minimum of one tree per		
10-6-4.E.6.a	one thousand (1,000) square feet of landscaped	341	634
	area, distributed on the site.		

## STREET TREE REQUIREMENTS TABLE

eet Tree Description	Length (ft)	# of Trees	# of Trees
Circuit Tree Description		Required	Provided
Street Trees: N Side of Canterbury Dr (1 Street Tree per 40 LF)	1,347'	34	33**
Street Trees: S Side of Canterbury Dr (1 Street Tree per 40 LF)	999'	25	32
Street Trees: N 120th St (1 Street Tree per 40 LF)	789'	20	25
Street Trees: E Emma St (1 Street Tree per 40 LF)	901'	23	18*

\*NOTE: E Emma Street is deficient (5) street trees. Trees have been added on N 120th Street to mitigate.

\*\*NOTE: N Side of Cantebury Drive is deficient (1) street tree. Tree has been added on S Side of Canebury Drive to mitigate.

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ILLOUGHBY CORNER

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03/27/20 PRE PLAN

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SHEET TITLE:
DEVELOPMENT STANDARDS
& LOT TYPICALS